

DOCUMENT 00 90 00
ADDENDUM

ADDENDUM No.: 1

DATE: September 19, 2024

RE: VIROQUA HOUSING AUTHORITY
PUBLIC HOUSING PROJECT WI 118
200 PARK VIEW COURT
VIROQUA, WI 54665
PROJECT NO. 24012

FROM: HSR Associates, Inc
100 Milwaukee Street
La Crosse, WI 54603
(608) 784-1830

TO: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated August 2024. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of: 2 pages, 3 documents, 3 sections, and 8 drawings.

DOCUMENT:

1. Pre-Bid Meeting Sign-In Sheet

CHANGES TO INTRODUCTORY INFORMATION AND BIDDING REQUIREMENTS:

2. Document 00 41 00 Bid Form
 - a. See the revised document included in this addendum. Disregard the previous version.
 - b. Revised the alternate to include replacement of door in 313 Receiving.

CHANGES TO CONTRACTING REQUIREMENTS:

3. Document 00 73 00 Supplementary Conditions for HUD-5370
 - a. See the revised document included in this addendum. Disregard the previous version.
 - b. Article 32 and 33. Replaced references to LHA with references to VHA to correct an error in the original version.
 - c. Article 38. Replaced references to LHA with references to VHA to correct an error in the original version. Removed the sentence "A list of some of the known available minority business enterprises is available at the LHA office."

CHANGES TO GENERAL REQUIREMENTS:

4. Section 01 23 00 Alternates
 - a. See the revised section included in this addendum. Disregard the previous version.
 - b. Revised the alternate to include replacement of existing overhead door in 313 Receiving with aluminum framed fiberglass door.

CHANGES TO SPECIFICATIONS:

5. Section 07 42 03 Thermal Isolation Mounting Clips for Exterior Wall Panel Assemblies
 - a. See the new section included in this addendum.
 - b. The addition of this section to the project manual is a result of an accepted substitution request.
6. Section 07 42 10.41 Composite Framing Support (CFS) System
 - a. See the revised section included in this addendum. Disregard the previous version.
 - b. Revised paragraph 1.02 D. to correct a reference from "Section 07 25 00 to Section 07 27 00 – Air Barriers: Air / Weather barrier."

CHANGES TO DRAWINGS

7. Sheet C100 DEMOLITION PLAN (ALTERNATE BID) 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. See new general note 13 regarding maintaining access to east side building entrances.
8. Sheet C200 LAYOUT PLAN (ALTERNATE BID) 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. See added concrete pad.
 - c. See new general note 13 regarding maintaining access to east side building entrances.
9. Sheet C300 GRADING PLAN (ALTERNATE BID) 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. See added concrete pad and keynote 11.
 - c. See new general note 13 regarding maintaining access to east side building entrances.
10. Sheet A101 THIRD FLOOR 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Redesignated door 313 as alternate.
11. Sheet A110 MAINTENANCE SHOP PLANS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Removed keynotes from room M101 that didn't apply.
12. Sheet A600 DOOR SCHEDULE / DETAILS 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Redesignated door 313 as alternate.
 - c. Added photo of existing room signage / identification plate.
 - d. Revised Door Schedule General Notes and Door Schedule Remarks.
13. Sheet E100 ELECTRICAL PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Added Roof Elec Plan.
 - c. Added plan to show location of panelboard A1.
14. Sheet E101 ELECTRICAL PLAN 30"x42"
 - a. See the revised sheet included in this addendum. Disregard the previous version.
 - b. Revised Lighting Fixture Schedule to remove I & J. -- NOT CLOUDED --
 - c. Revised detail 8 to show distinct conduits between the buildings.

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DOCUMENT 00 41 00

BID FORM

BIDDER: _____

BID FOR SINGLE PRIME CONTRACT

PROJECT: **VIROQUA HOUSING AUTHORITY
PUBLIC HOUSING PROJECT WI 118
200 PARK VIEW COURT
VIROQUA, WISCONSIN 54665
PROJECT NO. 24012**

TO: **VIROQUA HOUSING AUTHORITY
200 PARK VIEW COURT
VIROQUA, WISCONSIN 54665
ATTENTION: WENDY WINTERFIELD**

BASE BID

The undersigned, having examined the site where the Work is to be executed and become familiar with local conditions affecting the cost of the Work and carefully examined the Project Manual, the Project Drawings, all other Bidding Documents and Addenda thereto prepared by the AE, HSR Associates, Inc., hereby agrees to provide all labor, materials, equipment and services necessary for the complete and satisfactory execution of the ENTIRE WORK, in the time frame stipulated in these contract documents, for the Base Bid stipulated sum of:

_____ Dollars (\$_____ .00)

The Base Bid stipulated sum shall include any allowances indicated in Section 01 21 00 Allowances.

ALTERNATE BIDS

The undersigned further agrees to perform the alternative portions of the Work as described in the Project Manual, Section 01 23 00 Alternates, for the following additions to or deductions from the Base Bid sum stipulated above:

Alternate No. 1 (Maintenance Shop with Civil work including Retaining Wall and Replace door in 313 Receiving)

Add _____ Dollars (\$_____ .00)

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UNIT PRICES

The undersigned agrees to add or deduct portions of the Work from the Contract as described in the Project Manual, Section 01 22 00 Unit Prices, for the following Unit Price amounts:

Item	Reference Section	Unit Price	Quantity included in Lump Sum Base Bid
UP-1 Over Excavation of Unsuitable Soils	Div 31	\$ _____ / cu yd	20 cu yd
UP-2 Granular Fill	Div 31	\$ _____ / cu yd	20 cu yd
UP-3 Rock Blasting / Excavation	Div 31	\$ _____ / cu yd	5 cu yd

BIDDER'S CHOICE SUBSTITUTIONS

The following Bidder's Choice Substitution is proposed for your consideration subject to the requirements set forth in Document 00 22 13 Supplementary Instructions to Bidders, Subparagraph 3.3.4:

Substitution No. S1:

For substituting _____

Type, Brand, Catalog No. _____

Manufacturer _____

Deduct from BASE BID _____ Dollars (\$ _____ .00)

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In submitting this Bid, the undersigned agrees to:

1. Hold this Bid open for 60 days.
2. Accept the provisions of Instructions to Bidders regarding disposition of Bid Security.
3. Enter into and execute an Agreement, if awarded on the basis of this Bid, and to furnish Performance and Labor and Material Payment Bonds according to the Supplementary Conditions.
4. Accomplish work according to the Contract Documents.
5. Complete the work by the time stated in Section 01 10 00 Summary of the Work.

Receipt of the following Addenda and inclusion of their provisions in this Bid is hereby acknowledged:

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

Attached hereto are the required:

- a. () Bid Security
- b. () HUD 5369-A Representations, Certifications and Other Statements of Bidders
- c. () 00 43 41 Certification of Intent to Comply with Section 3 Requirements
- d. () 00 45 13 Certificate of Organization and Authority
- e. () 00 45 17 Non-Collusive Affidavit
- f. () 00 45 46 Previous Participation Certification – HUD 2530

Affix Corporate Seal (if corp.) FIRM NAME: _____

Title: _____

By: _____

Title: _____

Date: _____

Official Address: _____

Telephone: _____

END OF DOCUMENT 00 41 00

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SECTION 00 73 00
SUPPLEMENTARY CONDITIONS FOR HUD-5370 (1/2014)

The following supplements modify the HUD-5370 (1/2014) "General Conditions of the Contract for Construction - Public Housing Programs." Where a portion of said General Conditions is modified or deleted by these Supplementary Conditions, the unaltered portions of said General Conditions shall remain in effect.

The documents referenced below are included in the supplementary conditions:

Document 00 73 43 Wage Rates Requirements

Document 00 73 46 Wage Determination Schedule

Document 00 73 73 Statutory Requirements

ARTICLE 1. DEFINITIONS

ADD TO SUBPARAGRAPH (a) THE FOLLOWING SENTENCE:

The term "Architect" shall also mean "Architect/Engineer", "AE," and "HSR Associates, Inc." when used in the Contract Documents.

ADD TO SUBPARAGRAPH (e) THE FOLLOWING SENTENCE:

Wherever the term "Drawings" is used in the General Conditions it shall mean "Project Drawings", prepared and/or assembled by the AE specifically for this Project, by agreement with the Owner.

ADD TO SUBPARAGRAPH (h) THE FOLLOWING SENTENCE:

References in the bidding and contract documents to "VHA," "Local Authority", and "Owner" refer to "PHA" and "Public Housing Agency."

ADD TO SUBPARAGRAPH (i) THE FOLLOWING CLAUSES:

(1) The "Specifications" defined in Subparagraph (i) shall mean the "Project Manual" defined in Subparagraph (m) below, prepared and/or assembled by the AE specifically for this Project, by agreement with the Owner.

(2) The term "Technical Specifications" shall mean the Project Specifications consisting of Divisions 1 through 33 in the Project Manual.

ADD THE FOLLOWING SUBPARAGRAPH:

(m) The "Project Manual" is the bound volume of documentary information prepared and assembled for the Owner by the AE for the specific purpose of bidding and constructing the Work of this Project and includes the Bidding Requirements, Contract Forms, Conditions of the Contract, the Project Specifications and certain Project Drawing standards, schedules and details.

ARTICLE 2. CONTRACTOR'S RESPONSIBILITY FOR WORK

ADD THE FOLLOWING SUBPARAGRAPHS:

(i) Before ordering any materials or performing any Work, the Contractor shall verify all measurements at the Project Site related to that particular Work and shall be responsible for accuracy of same. No extra compensation will be authorized to the Contractor due to differences between actual measurements as constructed or existing and the dimensions shown on the Project Drawings. Any discrepancy in this respect shall be reported immediately to the AE. All component parts of the Work shall be carefully checked and laid

out in order that the completed Work, as a whole, shall conform to the intent of the Project Drawings and Project Specifications.

(j) The Contractor may protest in writing to a specified method required or implied by the Contract Documents, the results of which shall be guaranteed under the Contract Documents if, in the Contractor's judgment, the methods will not produce the required result. If such protest is made prior to execution of the Agreement, an alternate method, acceptable to the Contractor, will be specified by Addendum. If such protest is made after execution of the Contract, alternate methods proposed by the Contractor shall not subject the Owner to additional costs over the Contract Price. By performance of the Work in accordance with the Contract Documents, the Contractor represents approval of any required or implied methods necessary to produce the required result.

ARTICLE 9. SPECIFICATIONS AND DRAWINGS FOR CONSTRUCTION

REVISE PARAGRAPH (a) TO READ AS FOLLOWS:

(a) The Contractor shall keep at the Project Site a copy of the Project Drawings and Project Manual and shall, at all times, give the Contracting Officer and the AE access thereto. Anything mentioned in the Project Specifications and not shown on the Project Drawings, or shown on the Project Drawings and not mentioned in the Project Specifications, shall be of like effect as if shown on or mentioned in both.

(1) In the event of conflicts or discrepancies among the Contract Documents, interpretations by the AE will be based on the following priorities:

- A. The executed Contract.
- B. Addenda, with those of later date having precedence over those of earlier date.
- C. The Supplementary Conditions.
- D. The General Conditions.
- E. Project Drawings and Project Specifications.

(2) In the case of discrepancy between Project Drawings and Project Specifications or within either Document not clarified by addendum, the better quality and greater quantity of Work shall be provided in accordance with the AE's interpretation.

(3) The Project Specifications may be written in an abbreviated or short-form which includes incomplete sentences. Omission of words or phrases (such as "the Contractor shall," "in conformity with," "shall be," "as noted on the Drawings," "according to the Plans," "a," "an," "the," and "all") is intentional. Omitted words and phrases shall be supplied by inference in the same manner as they are when a "note" occurs on the Project Drawings. Words "shall," "shall be," "provide" are supplied by inference where a colon (:) is used.

(4) The word "provide" shall mean the furnishing of all materials, labor, equipment, transportation and services required for a complete installation.

ARTICLE 10. AS-BUILT DRAWINGS

ADD THE FOLLOWING TO SUBPARAGRAPH (a):

Wherever the term "as-built drawings" is used in the General Conditions it shall mean "record drawings." Refer to Section 01 30 00 of the Project Manual for additional record drawings requirements for this Project.

ARTICLE 11. MATERIALS AND WORKMANSHIP

ADD THE FOLLOWING CLAUSES TO SUBPARAGRAPH (b):

(7) Approved substitutions prior to receipt of Bids under this Subparagraph shall be in accordance with the requirements for "Approved Substitutions" specified in Document 00 22 13 Supplementary Instructions to Bidders Clause 14.

(8) After the Contract has been executed, the Owner and the AE will consider a formal request for the substitution of products in place of those specified only in the event that it is necessary to make a substitution because of strikes, lockouts, bankruptcy, discontinuance of a product, satisfactory delivery cannot be made, or the product delivered fails to comply with Project requirements. Such requests shall be made in writing within ten (10) days from the date the Contractor ascertains any of the above events will affect the product and shall include the reason for the request accompanied by a complete description of the product proposed for substitution and the difference in cost, if any, between the proposed product and the specified product. Approval of such requests will be made only by Change Order.

- (9) By making requests for substitutions based on Clause (8) above, the Contractor:
- A. Represents that the Contractor has personally investigated the proposed substitute product and determined that it is equal or superior in all respects to that specified;
 - B. Represents that the Contractor will provide the same warranty for the substitution that the Contractor would provide for that specified;
 - C. Certifies that the cost data presented is complete and includes all related costs under this Contract except the AE's redesign costs, and waives all claims for additional costs related to the substitution which subsequently become apparent; and
 - D. Will coordinate the installation of the accepted substitute product, making such changes as may be required for the Work to be complete in all respects.

ARTICLE 12. PERMITS AND CODES

ADD TO SUBPARAGRAPH (b) THE FOLLOWING CLAUSES:

(1) The General Contractor shall be responsible to secure and pay for the building permit including the valuation attributable to plumbing work, heating, ventilating and air conditioning work, electrical work and other miscellaneous separate contracts not directly a part of the General Construction Contract, which the local building officials use as a basis in determining the amount of the fee required to issue a building permit for this Project. Other Prime Contractors will not be required to share in such fee required to secure the building permit.

(2) Subparagraph (1) above is concerned only with the "building permit." Such requirements do not relieve other Prime Contractors from securing and paying for other permits and fees applicable to their particular division of the work.

ARTICLE 13. HEALTH, SAFETY AND ACCIDENT PREVENTION

ADD THE FOLLOWING SUBPARAGRAPH (f):

(f) Contractor shall comply with Wis. Stats. 66.047(2), which provides that any person intending to excavate, erect a building, or make changes thereon, or wreck a building, before commencing the work shall give at least 3 days notice in writing to all public utilities whose facilities will be affected thereby. The Contractor shall safeguard and protect all utilities and be held liable for any damage thereto during construction. Relocating utilities to expedite construction will be permitted provided it is done at no cost to the Owner in accordance with a written agreement between the utility and the Contractor. A signed copy of such agreement shall be filed with the AE before work is started.

ARTICLE 20. INSPECTION AND ACCEPTANCE OF CONSTRUCTION

ADD TO SUBPARAGRAPH (j) THE FOLLOWING CLAUSES:

(1) Upon receipt of written notice that the Work or a designated portion thereof is ready for final inspection and acceptance, the AE will promptly make the first inspection. If the Work is not acceptable and the Contract not fully performed, the AE will notify the Contractor, in writing, of all unfinished Work and fix the time within which the Contractor shall complete

the items listed. Upon notification by the Contractor that the list of uncompleted items is complete, the AE will make a follow-up inspection trip to determine if the Work is fully performed.

(2) When the AE finds the Work acceptable under the Contract Documents and the Contract fully performed, the AE will promptly issue a final Certificate for Payment stating that to the best of the AE's knowledge, information and belief, and on the basis of the AE's observations and inspections, the Work has been completed in accordance with the terms and conditions of the Contract Documents and that the entire balance found to be due the Contractor, and noted in said final certificate, is due and payable under the terms of Clause 27 "Payments."

ARTICLE 27. PAYMENTS

REPLACE SUBPARAGRAPH (d) WITH THE FOLLOWING:

(d) The Contractor shall submit, on forms provided by the PHA, periodic estimates showing the value of the work performed during each period based upon the approved breakdown of the contract price. Such estimates shall be submitted no later than the 25th day of each month and are subject to correction and revision as required. The estimates must be approved by the Contracting Officer with the concurrence of the Architect prior to payment. If the contract covers more than one project, the Contractor shall furnish a separate progress payment estimate for each.

ADD THE FOLLOWING TO SUBPARAGRAPH (f):

RETAINED PERCENTAGE: For this project, upon certification by Owner, the owner will pay to the Contractor, on account of the Contract, 90 percent of the materials suitable stored.

ARTICLE 29. CHANGES

ADD THE FOLLOWING UNDER (f) AS SUBPARAGRAPH (4):

(4) The percentage fee allowance for the combined overhead and profit included in the total cost to the Owner shall be based on the following schedule:

For the Contractor, for Work performed by the Contractor's own forces, 15 percent of the cost.

For the Contractor, for Work performed by the Contractor's Subcontractor, 10 percent of the cost.

For each Subcontractor or Sub-subcontractor involved, for Work performed by that Subcontractor's or Sub-subcontractor's own forces, 15 percent of cost.

For each Subcontractor, for Work performed by the Subcontractor's Sub-subcontractor, 10 percent of the amount due the Sub-subcontractor.

In order to facilitate checking of quotations for extras or credits, all proposals, except those so minor that their propriety can be seen by inspection, shall be accompanied by a complete itemization of costs including labor, materials and Subcontracts. Labor and materials shall be itemized in manner prescribed above. Where major cost items are subcontracts, they shall be itemized also. In no case will a change involving over \$500.00 be approved without such itemization.

ARTICLE 32 TERMINATION FOR DEFAULT-DAMAGES FOR DELAY-TIME EXTENSIONS

ADD TO SUBPARAGRAPHS (b) AND (c) THE FOLLOWING SENTENCE

Liquidated damages will be assessed according to Subparagraph 33 below.

ADD THE FOLLOWING SUBPARAGRAPHS

The total amount of liquidated damages applicable to each contract will be determined by the VHA and such amount will be deducted for the balance due to Contractor prior to Final Payment.

It is the obligation of all other contractors to coordinate their work with that of the general contractor and with each other. If liquidated damages are charged to the general contractor, the VHA will determine to what extent such delay, or portion thereof, is chargeable to contractors other than the general contractor. Liquidated damages, not exceeding the amounts stated herein, shall be assessed against all contractors collectively to the extent each is responsible for such delay. The decision of the VHA will prevail.

ARTICLE 33 LIQUIDATED DAMAGES

LIQUIDATED DAMAGES WILL NOT BE ASSESSED BY THE VHA FOR THIS PROJECT

ARTICLE 36 INSURANCE

ADD THE FOLLOWING SUBPARAGRAPHS AFTER (e):

(f) Liability insurance on an occurrence basis shall include all major divisions of coverage and be on a comprehensive basis including:

- (1) Premises Operations (including X, C and U coverages as applicable).
- (2). Independent Contractor's Protective.
- (3) Products and Completed Operations.
- (4) Personal Injury Liability.
- (5) Contractual, including specified provision for Contractor's obligation under Paragraph 3, a) Contractual Liability below.
- (6) Owned, non-owned and hired motor vehicles.
- (7) Broad Form Property Damage including Completed Operations.
- (8) Owner and AE as Additional Insureds.

(g) Comprehensive or Commercial General Liability (including Premises-Operations; Independent Contractors' Protective; Products and Completed Operations; Broad Form Property Damage):

- (1) Bodily Injury and Property Damage:
\$1,000,000 Combined Single Limit Each Occurrence
Minimum \$2,000,000 Aggregate or Per Project Endorsement

(h) Contractual Liability:

- (1) Bodily Injury and Property Damage:
\$1,000,000 Combined Single Limit Each Occurrence
Minimum \$2,000,000 Aggregate or Per Project Endorsement.

(i) Business Auto Liability (including owned, non-owned and hired vehicles):

- (1) Bodily Injury and Property Damage:
\$1,000,000 Combined Single Limit (CSL) Each Occurrence
Minimum \$2,000,000 Aggregate or Per Project Endorsement

(j) Umbrella Excess Liability:

- \$2,000,000 over primary insurance.
Maximum self-insured retention of \$25,000.

(k) Property Insurance:

The Owner will provide and maintain Property Insurance coverage upon the Entire Work at the Project Sites to the full insurable value there.

ARTICLE 38. SUBCONTRACTING WITH SMALL AND MINORITY FIRMS, WOMEN'S BUSINESS ENTERPRISE, AND LABOR SURPLUS AREA FIRMS

ADD THE FOLLOWING PARAGRAPH (f):

(f) Minority Business Enterprise Involvement

(1) The Contractor shall make every effort to award a minimum of 20% of the work to minority business enterprises. The Contractor will be required to submit a report to the VHA which will identify the minority business enterprises, to whom the work was awarded and the value of said work.

(2) Minority Business Enterprise means: "A sole proprietorship, partnership, joint venture, or corporation which is 51% owned, controlled and actively managed by a Black, Hispanic, American Indian, Eskimo, Aleut, Native Hawaiian, Asian Indian, or a person of Asian-Pacific origin. The business must also be currently performing a useful business function." See Document HUD 5370, GENERAL CONDITIONS, Article 38. Executive Order 11246.

ARTICLE 42. INTEREST OF MEMBERS, OFFICERS, OR EMPLOYEES AND FORMER MEMBERS, OFFICERS, OR EMPLOYEES

ADD THE FOLLOWING SUBPARAGRAPHS:

(a) No member, officer or employee of the Owner, during his/her tenure or for one year thereafter, shall have any interest, direct or indirect, in this Contract or the proceeds thereof.

(b) The Contractor shall include the wording of the preceding Subparagraph (a) in all subcontracts relative to this Project.

ARTICLE 46. LABOR STANDARDS – DAVIS-BACON AND RELATED ACTS

ADD THE FOLLOWING SUBPARAGRAPH (a)(5):

(5) The requirements of the Davis-Bacon Act including prevailing wage requirements apply to this project. See document 00 73 43 Wage Rates Requirements and document 00 73 46 Wage Determination Schedule.

A. Wage rate determinations apply to Work in all Sections of the Project Specifications.

B. Any wages paid for a classification of work not included in the Wage Rate Schedules included herein shall be not less than applicable wage rates determined by officials responsible for wage rate determinations. When determination has been made after employment of an individual, such minimum rate shall be retroactive to time of initial employment.

ADD THE FOLLOWING SUBPARAGRAPH (I):

(I) Debarred Contractors and Disclosure of Ownership: Bidders are advised that all firms submitting prime bids or sub-bids for this Project whose names appear on the current "Consolidated List of Debarred Contractors" prepared and issued to the Owner by the State of Wisconsin Department of Industry, Labor and Human Relations along with the Wage Determination issued by the Equal Rights Division for this Project will not be awarded prime contracts or approved as subcontractors by the Owner, for this Project.

ARTICLE 49 TAXES

WISCONSIN CONTRACTORS ARE EXEMPT FROM SALES TAX ON MATERIALS PURCHASED FOR THIS PROJECT. A WISCONSIN SALES AND USE TAX EXEMPTION CERTIFICATE WILL BE INCLUDED WITH THE CONTRACT.

SECTION 01 23 00

ALTERNATES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Description of Alternates.

1.02 RELATED REQUIREMENTS

- A. Document 00 21 13 - Instructions to Bidders: Instructions for preparation of pricing for Alternates.

1.03 DESCRIPTION

- A. Conditions of the Contract and pertinent portions of Sections in Division One of this Project Manual, apply to the Work of this Section as fully as though repeated herein.
- B. This Section describes the alternates to the project. Refer to the Product/Execution Articles of the Contract Documents for information pertaining to the work of each alternate.
- C. Each proposal under an alternate shall include all incidental work and all adjustments necessary to accommodate the changes. All work shall meet the requirements of the Contract Documents.
- D. Each alternate proposal shall be submitted as an individual cost for the particular alternate and shall be proposed under the premise that no other alternates have been accepted. Should the work of an alternate called for by the Bid Form not affect the cost of the work, "No Change" shall be stated.
- E. Owner may, at Owner's option, vary the scope of the work by authorizing alternates which will add to the work, deduct from the work or substitute materials, equipment or methods.
- F. Immediately following Award of Contract, awarded Contractor shall prepare and distribute to each party involved, notification of the status of each alternate. Indicate whether alternates have been accepted, rejected, or deferred for consideration at a later date. Include a complete description of negotiated modifications to alternates, if any.

1.04 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted Alternates will be identified in the Owner-Contractor Agreement.

1.05 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Maintenance Shop with Civil Work including Retaining Wall and Replace door in 313 Receiving.
 - 1. The following work shall be priced under Alternate No. 1: State the amount to be added to the base bid to perform civil work and modify the maintenance shop as shown on the drawings. Replace existing overhead door in 313 with aluminum framed fiberglass door. Receiving with Work includes but is not limited all work described herein and outlined or noted as alternate on the drawings. Refer to generally applicable specification sections and drawing numbers C100, C200, C300, C400, C500, C600, C601, L100, A100, A101, A110, A120, A210, and A300.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION

SECTION 07 42 03

THERMAL ISOLATION MOUNTING CLIPS FOR EXTERIOR WALL PANEL ASSEMBLIES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. ISO Clip - Thermal Isolation Clip. (3.25 inch).
- B. Clip mounting fasteners (as per Project Engineer's recommendation).
- C. This section was added to the project documents via Addendum #1. Bidders may include this product in the project in lieu of 07 42 10.42 Composite Framing Support.

1.02 RELATED REQUIREMENTS

- A. Applicable provisions of Division 1 govern the work of this section.
- B. Section 04 20 00 - Unit Masonry: Substrate.
- C. Section 07 21 19 - Foamed-In-Place Insulation: Coordinate materials and sealing.
- D. Section 07 27 00 - Air Barriers: Requirements for air barriers.

1.03 REFERENCE STANDARDS

- A. ASHRAE Std 90.1 I-P - Energy Standard for Buildings Except Low-Rise Residential Buildings; Most Recent Edition Adopted by Authority Having Jurisdiction, Including All Applicable Amendments and Supplements.
- B. ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process; 2023.
- C. ASTM A792/A792M - Standard Specification for Steel Sheet, 55% Aluminum-Zinc Alloy-Coated by the Hot-Dip Process; 2023.
- D. NFPA 285 - Standard Fire Test Method for Evaluation of Fire Propagation Characteristics of Exterior Wall Assemblies Containing Combustible Components; 2023.

1.04 SUBMITTALS

- A. See contract Conditions and General Requirements for procedures and requirements.
- B. Provide submittal transmittals that include all submittal items identified in each submittal group below.
- C. Review Submittals - Preparatory:
 - 1. Product Data:
 - a. Manufacturer's data sheets on each product to be used.
 - b. Preparation instructions and recommendations.
 - c. Storage and handling requirements and recommendations.
 - d. Typical installation methods.
 - 2. Shop Drawings: Include details of materials, construction and finish. Include relationship with adjacent construction.
- D. Review Submittals - Samples:
 - 1. Verification Samples: Two representative units of each type, size, pattern and color.
- E. Information Submittals - Preparatory:
 - 1. Sustainable Design Submittals:
 - a. Product Data: For recycled content, indicating postconsumer and pre-consumer recycled content and cost.
 - 2. Manufacturer Qualification Statement.
 - 3. Installer Qualification Statement.

1.05 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with a minimum five years documented experience.

- B. Installer Qualifications: Company specializing in performing Work of this section with minimum two years documented experience with projects of similar scope and complexity.
- C. Source Limitations: Provide each type of product from a single manufacturing source to ensure uniformity.

1.06 MOCK-UP

- A. Mock-Up: Construct a mock-up with actual materials in sufficient time for Architect's review and to not delay construction progress. Locate mock-up as acceptable to Architect and provide temporary foundations and support.
- B. Intent of mock-up is to demonstrate quality of workmanship and visual appearance.
- C. If mock-up is not acceptable, rebuild mock-up until satisfactory results are achieved.
- D. Retain mock-up during construction as a standard for comparison with completed work.
- E. Do not alter or remove mock-up until work is completed or removal is authorized.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Store and handle in strict compliance with manufacturer's written instructions and recommendations.
- B. Protect from damage due to weather, excessive temperature, and construction operations.

1.08 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's recommended limits.

1.09 WARRANTY

- A. Manufacturer's standard limited warranty unless indicated otherwise.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Acceptable Manufacturer: Northern Facades, which is located at: 6435 Northwest Dr.; Mississauga, ON, Canada L4V 1K2; Toll Free Tel: 844-740-2050; Tel: 905-740-2050; Fax: 905-740-2054; Email: info@isoclips.com; Web: isoclips.com.
- B. Substitutions: Not permitted.
- C. Requests for substitutions will be considered in accordance with provisions of Section 01600 – Product Requirements.

2.02 THERMAL ISOLATION CLIPS

- A. Performance and Design Requirements:
 - 1. High Load Capacity per Clip: Less clips may be required compared to synthetic or aluminum clips resulting in less thermal bridging.
 - 2. Built in slotted retaining tab to ease installation of girts.
 - 3. Mounting Orientation: The same regardless of horizontal or vertical girt orientation.
 - 4. Substrates: All, including concrete, concrete block, steel studs or wood.
 - 5. Effective Wall Assembly R-Value: As determined by Architect in combination with Insulation system.
 - 6. Accommodate a variety of wall depths and insulation thicknesses.
 - a. 3.25 inch ISO Clip Insulation Thickness Range: 4 to 6 inches.
- B. Product: 3.25 inch ISO Clip - Thermal Isolation Clip: Assists in creating thermal break between interior and exterior of building. Reduces thermal transfer through building envelope.
 - 1. Standards Compliance:
 - a. ASHRAE Std 90.1 I-P ASHRAE 90.1, NECB, SB-10 compliance, with thermal analysis available.
 - b. NFPA 285 NFPA 285: Pass.
 - 2. Clip Material: 14ga ASTM A792/A792M Galvalume or ASTM A653/A653M Galvanized, steel.
 - a. Salmon-Safe encapsulated coating.
 - 3. Thermal Isolator Pad: Glass fiber reinforced polyamide.

4. Adjustment: Plus or minus 1/2 inch wall deviation. No shims required.
5. Insulation Thickness Range: 4 to 6 inch of insulation.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Do not begin installation until substrates have been properly constructed and prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect in writing of unsatisfactory preparation before proceeding.

3.02 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.

3.03 INSTALLATION

- A. Install cladding support system components in accordance with manufacturer's written instructions, approved submittals, and the following:
 1. Install in proper relationship with adjacent materials.
 2. Install cladding support system assembly level, plumb, and square within 1/8 inch in 20 feet. noncumulative allowable tolerance.
- B. Install cladding support system in compliance with orientation, sizes, and locations as indicated.
 1. Use termination trim at rough openings to properly transition and enclose continuous insulation (CI) system to provide thermally broken transition from opaque wall assemblies.
 2. Trim to be covered by exterior cladding materials and flashings.

3.04 FIELD QUALITY CONTROL

- A. Field Inspection: Coordinate field inspection in accordance with appropriate sections in Division 01.
- B. Manufacturer's Services: Coordinate manufacturer's services in accordance with appropriate sections in Division 01.

3.05 CLEANING AND PROTECTION

- A. Clean products in accordance with the manufacturer's recommendations.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

END OF SECTION

SECTION 07 42 10.41
COMPOSITE FRAMING SUPPORT (CFS) SYSTEM

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Composite framing support (CFS) system with in-fill insulation integrated with metal wall panel exterior wall cladding.
 - 1. Substrate: Exterior sheathing over metal stud framing and concrete masonry units (CMU).

1.02 RELATED REQUIREMENTS

- A. Applicable provisions of Division 1 govern the work of this section.
- B. Section 04 20 00 - Unit Masonry: Concrete masonry unit (CMU) wall substrate.
- C. Section 07 21 19 - Foamed-in-Place Insulation.
- D. Section 07 27 00 - Air barriers: Air / Weather barrier.
- E. Section 07 42 00 - Metal Wall Panels: Wall cladding system.
- F. Section 07 92 00 - Joint Sealants: Perimeter sealant.

1.03 REFERENCE STANDARDS

- A. ASCE 7 - Minimum Design Loads and Associated Criteria for Buildings and Other Structures.
- B. ASHRAE 90.1 - Energy Standard for Buildings Except Low-Rise Residential Buildings; 2013.
- C. ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process; 2015.
- D. ASTM C518 - Standard Test Method for Steady-State Thermal Transmission Properties by Means of the Heat Flow Meter Apparatus; 2015.
- E. ASTM C754 - Standard Specification for Installation of Steel Framing Members to Receive Screw-Attached Gypsum Panel Products; 2015.
- F. ASTM C1363 - Standard Test Method for Thermal Performance of Building Materials and Envelope Assemblies by Means of a Hot Box Apparatus; 2011.
- G. ASTM D256 - Standard Test Methods for Determining the Izod Pendulum Impact Resistance of Plastics; 2010e1.
- H. ASTM D570 - Standard Test Method for Water Absorption of Plastics; 2010e1.
- I. ASTM D635 - Standard Test Method for Rate of Burning and/or Extent and Time of Burning of Plastics in a Horizontal Position; 2014.
- J. ASTM D638 - Standard Test Method for Tensile Properties of Plastics; 2014.
- K. ASTM D696 - Standard Test Method for Coefficient of Linear Thermal Expansion of Plastics Between minus 30 degrees C and 30 degrees C with a Vitreous Silica Dilatometer; 2008e1.
- L. ASTM D695 - Standard Test Method for Compressive Properties of Rigid Plastics; 2015.
- M. ASTM D790 - Standard Test Methods for Flexural Properties of Unreinforced and Reinforced Plastics and Electrical Insulating Materials; 2010.
- N. ASTM D792 - Standard Test Methods for Density and Specific Gravity (Relative Density) of Plastics by Displacement; 2013.
- O. ASTM D2583 - Standard Test Method for Indentation Hardness of Rigid Plastics by Means of a Barcol Impressor; 2013a.
- P. ASTM D2842 - Standard Test Method for Water Absorption of Rigid Cellular Plastics; 2012.
- Q. ASTM D4385 - Standard Practice for Classifying Visual Defects in Thermosetting Reinforced Plastic Pultruded Products; 2013.
- R. ASTM E84 - Standard Test Method for Surface Burning Characteristics of Building Materials; 2015a.
- S. ASTM E96/E96M - Standard Test Methods for Water Vapor Transmission of Materials; 2015.

- T. ASTM E283 - Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimen; 04(2012).
- U. ASTM E2178 - Standard Test Method for Air Permeance of Building Materials; 2013.
- V. ICC (IBC)-2015 - International Building Code (International Code Council).
- W. ICC (IECC)-2015 - International Energy Conservation Code.

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Coordination: Coordinate construction of wall cladding support system over substrate indicated for proper drainage, flashing, trim, back-up support, soffits, and other related Work.
 - 1. Review and finalize construction schedule.
 - 2. Verify availability of materials, installer's personnel, equipment, and facilities needed to maintain schedule.
 - 3. Review means and methods related to installation, including manufacturer's written instructions.
 - 4. Examine support conditions for compliance with requirements, including alignment and attachment to structural support system.
 - 5. Review flashings, wall cladding details, wall penetrations, openings, and condition of other construction that affects this Work.
 - 6. Review temporary protection requirements for during and after installation of this Work.

1.05 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements for procedures.
- B. Use a single transmittal for related submittal items. Do not combine submittal items from more than one of the following categories into a single transmittal: review, information, closeout, and maintenance materials.
- C. Review Submittals - Preparatory:
 - 1. Product Data: Submit for each type of product indicated; include construction details, material descriptions, dimensions of individual components and profiles, and accessories as necessary for complete fully functioning and assembled system.
- D. Information Submittals - Preparatory:
 - 1. Test and Inspection Reports: Submit test and inspection reports on each type of wall cladding/veneer system based on evaluation of comprehensive tests performed by nationally recognized testing agency.
- E. Closeout Submittals:
 - 1. Warranty: Submit manufacturer warranty and ensure forms have been completed in Owner's name and registered with manufacturer.

1.06 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with at least three years of documented experience.
- B. Installer: Company specializing in performing work of this section and the following:
 - 1. Install system in strict compliance with manufacturer's installation instructions.
 - 2. Have not less than three years of documented experience.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Deliver materials to site in manufacturer's original unopened containers and packaging with labels clearly identifying product name and manufacturer.
- B. Deliver components and other manufactured items or accessories without damage or deformation.
- C. Storage: Store materials in clean, dry, and level interior areas or outdoor areas for limited duration in accordance with manufacturer's written instructions.
- D. Protect components and auxiliary accessories during transportation, handling, and installation from moisture, excessive temperatures and other construction operations in accordance with manufacturer's written instructions.

- E. Handle components in strict compliance with manufacturer's written instructions and recommendations, and in a manner to prevent bending, warping, twisting, and surface, edge or corner damage.

1.08 SITE CONDITIONS

- A. Weather Limitations: Proceed with installation only when existing and forecasted weather conditions permit assembly of this Work in accordance with manufacturer's written installation instructions and warranty requirements.

1.09 WARRANTY

- A. CFS System Warranty: Provide written warranty by manufacturer agreeing to correct defects in manufacturing within five year period after Date of Substantial Completion.

PART 2 PRODUCTS

2.01 MANUFACTURER

- A. Basis of design: Advanced Architectural Products (A2P): SMARTci GreenGirt 1-in-1 System: www.smartcisystems.com.
- B. Other Manufacturer: StronGirt.

2.02 DESCRIPTION

- A. Attach CFS system components to exterior sheathing over metal stud framing.
 - 1. Refer to Section 04 20 00 for CMU substrate.
- B. Install CFS system components horizontally or vertically on framed sheathing substrate system as indicated on drawings in compliance with requirements for installation of metal wall panel.

2.03 PERFORMANCE REQUIREMENTS

- A. Structural: Provide system tested in accordance with ASTM E330/E330M and certified to be without permanent deformation or failure of structural members in accordance with design wind velocities for project geographic location and probability of occurrence based on data from wind velocity maps provided in ASCE 7 and as approved by authorities having jurisdiction (AHJ).
 - 1. Provide finite element analysis (FEA) to model and evaluate areas of the longest composite girt cantilever span possible between intermediate framing members/attachment.
 - a. FEA shall include max dead load and wind load conditions.
 - b. FEA shall include point loads representative of fastener locations.
 - c. Maximum directional stresses in model shall have a safety factor of 4 or greater.
 - d. Stresses shall be indicated and analyzed in 3 directions.
 - e. FEA shall accurately replicate the wall system and physical loading dynamics.
 - f. Report shall be furnished with the submittal.
 - g. FEA shall be approved by a licensed PE.
 - 2. Butt joints (non-interlocking joints) of adjacent girts shall be installed on a minimum surface width of 3" or double stud condition to accommodate proper fastener margins to composite.
- B. System Thermal Design: Ensure installed insulation and CFS system, sub-framing, clips and cladding attachment does not have thermal bridging of fasteners or framing that creates a continuous metal path from exterior surface of insulation to interior face of insulation.
 - 1. System thermal design shall meet or exceed thermal design requirements in compliance with ASHRAE 90.1 energy code.
 - 2. Thermal Resistance: Wall assembly minimum R Value of 26.
 - 3. Thermal Performance Test: Provide thermal resistance (R-value) indicated, in compliance with ASTM C1363, corrected to 15 mph outside and still air inside, with installed condition including fastening and joints.
 - a. Provide efficiency of no less than 93 to 98 percent, with a maximum temperature differential of 18 degrees F from interior wall surface to interior wall cavity and node locations with a 70 degrees F exterior to interior wall temperature delta.
 - b. Provide test unit with at least one insulation panel horizontal and vertical joint length and height of test chamber area.

- c. Provide finite element analysis of three dimensional simulation of described wall assembly sealed by professional engineer in compliance with performance requirements and exceeding it by at least 3 percent.
- C. Temperature: Comply with structural loading requirements within temperature range of minus 55 degrees F to 180 degrees F.
- D. Fire-Test-Response Characteristics: Provide composite framing support system with fire-test results indicated as determined by test standard indicated and applied by UL or other testing and inspection agency acceptable to authorities having jurisdiction.
 - 1. Surface Burning Characteristics: In compliance with ASTM E84, for foam insulation, fiber reinforced polymer (FRP) and interior surfaces as follows:
 - a. Flame Spread Index (FSI): 25 or less.
 - b. Smoke Developed Index (SDI): 450 or less.
 - 2. Intermediate Scale Multistory Fire Test: Comply with NFPA 285 and/or IBC acceptance criteria for wall height above grade and fire separation distances, when wall type and other noted conditions require such testing or compliance with requirements as indicated.

2.04 COMPOSITE FRAMING SUPPORT (CFS) SYSTEM

- A. CFS System: Provide CFS system consisting of polyester and vinyl ester bioresin matrix (FRP) with recycled materials, fire retardant additives and integral continuous metal inserts the length of profile. Reinforce CFS system with glass strand rovings used internally for longitudinal (lengthwise) strength and continuous strand glass mats or stitched reinforcements used internally for transverse (crosswise) strength.
 - 1. Depth of girt: As detailed.
 - 2. On Center Spacing: As detailed.
 - 3. Provide continuous non-corrosive steel insert for engagement of fasteners, at least 16 gage thick with G90 galvanized coating designation in compliance with ASTM A653/A653M.
 - a. Fully engage steel insert with adjacent CFS at ends.
 - b. Anchor sub-girts and other wall cladding support accessories to steel insert set into and part of CFS.
 - 4. Provide integral compression seal in CFS sections to ensure insulation panel will not dislodge.
 - 5. Provide integral anti-siphon grooves on exterior and interior flanges of CFS.
 - 6. Provide force distribution zones integrally designed into profile of CFS.
 - 7. Surface Burning Characteristics:
 - a. Flame Spread Index (FSI): 25 or less, when tested in accordance with ASTM E84.
 - b. Smoke Developed Index (SDI): 450 or less, when tested in accordance with ASTM E84.
 - 8. Flammability: Comply with ASTM E84.
 - 9. Self-Extinguishing: Comply with ASTM D635.
 - 10. Profile Visual Requirements: Comply with ASTM D4385.
 - 11. Tensile Stress: Provide engineered lengthwise and crosswise tensile stress in compliance with performance loading criteria and specified safety factors, in accordance with ASTM D638.
 - 12. Compressive Stress: Provide engineered lengthwise and crosswise compressive stress in compliance with performance loading criteria and specified safety factors, in accordance with ASTM D695.
 - 13. Flexural Stress: Provide engineered lengthwise and crosswise flexural stress in compliance with performance loading criteria and specified safety factors, in accordance with ASTM D790.
 - 14. Modulus of Elasticity: Engineered to meet performance loading criteria and specified safety factors.
 - 15. Barcol Hardness: 45, in accordance with ASTM D2583.
 - 16. Water Absorption: Less than 0.46 percent by weight, within 24 hours, tested in accordance with ASTM D570.
 - 17. Density: Within range of 0.062 to 0.070 lbs/cubic inch, in accordance with ASTM D792.
 - 18. Lengthwise Coefficient of Thermal Expansion: 7.0×10^{-6} inch/inch/degrees F, in accordance with ASTM D696.
 - 19. Notched Izod Impact, Lengthwise: 24 ft lbs/inch, in accordance with ASTM D256 within temperature range indicated.

20. Notched Izod Impact, Crosswise: 4 ft lbs/inch, in accordance with ASTM D256 within temperature range indicated.

2.05 ASSEMBLY

- A. Assemble CFS system using manufacturer's standard procedures and processes identical to tested units and as necessary to comply with performance requirements indicated.
 1. Comply with CFS system and dimensional and structural requirements as indicated on drawings.
 2. Erect CFS system in established sequence in accordance with manufacturer's standard installation procedures.
 3. Provide spray foam sealant on backside of cantilevered fasteners that completely puncture insulation layer.

2.06 ACCESSORIES

- A. Provide accessories necessary for complete CFS system.
- B. Fasteners: Corrosion-resistant, self-tapping and self-drilling screws, bolts, nuts, and other fasteners as recommended by CFS system manufacturer for project application.
 1. Cladding to CFS System: Use standard self-tapping metal screws.
 2. CFS System to Metal Stud Wall Framing: Use standard self-tapping metal screws.
 3. CFS System to Concrete/CMU: Use standard masonry or concrete screw anchors in predrilled hole.
 4. DO NOT USE powder, air, or gas actuated fasteners or actuated fastener tools. DO NOT USE impact wrenches when fastening to or from the CFS.
- C. Weather Resistant Barrier (WRB): Refer to Section 07 27 00 for requirements.
- D. Sealants: Refer to Section 07 92 00 for sealant information.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Examine substrates, areas of this work, and project conditions with installer present for compliance with requirements for installation tolerances, substrates, CFS system conditions, and other conditions affecting performance of this Work.
- B. Examine structural wall framing to ensure that angles, channels, studs, and other structural support members have been installed within alignment tolerances required by CFS system manufacturer.
- C. Examine rough-in for components and systems penetrating CFS system to coordinate actual locations of penetrations relative to CFS systems joint locations prior to installation.
- D. Verify that mechanical and electrical services for exterior walls have been installed and tested and, if appropriate, verify that adjacent materials and finishes are dry and ready to receive insulation.
- E. Proceed with installation only after wall substrate surfaces have been properly prepared and unsatisfactory conditions have been corrected.

3.02 PREPARATION

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using methods recommended by CFS manufacturer for achieving best result for substrate under project conditions.
- C. Prepare sub-framing, base angles, sills, furring, and other CFS system members and provide anchorage in accordance with ASTM C754 for substrate type and wall cladding type in accordance with manufacturer's installation instructions.

3.03 INSTALLATION

- A. Install CFS system in accordance with manufacturer's installation instructions.
- B. Install system to fill-in exterior spaces without gaps or voids, and do not compress insulation panels.
- C. Exposed insulation must be protected from open flame.
- D. Install CFS system in compliance with metal wall panel system orientation, sizes, and locations as indicated on drawings.

3.04 TOLERANCES

- A. Shim and align CFS system within installed tolerances of 1/4 inch in 20 feet, non-cumulative, level, plumb, and on location lines as indicated.

3.05 PROTECTION

- A. Protect installed products from damage until wall panels are installed.

END OF SECTION



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VIROQUA HOUSING AUTHORITY
PARK VIEW MANOR

200 PARK VIEW COURT, STE 100
VIROQUA, WI 54665

DEMOLITION PLAN (ALTERNATE BID)

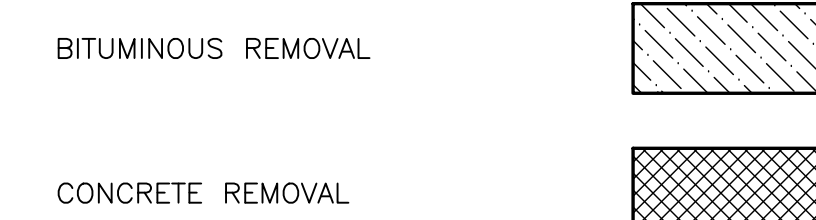
GENERAL NOTES:

- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED, WHICH SHOULD BE TURNED OVER TO THE OWNER.
- INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/CONSTRUCTION, IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- COORDINATE ALL UTILITY REMOVAL, DISCONNECTION, &/OR RECONNECTION WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING WORK.
- COORDINATE UTILITY SERVICE DISCONNECTIONS/OUTAGES WITH OWNER AND ANY IMPACTED NEIGHBORS. MINIMIZE DISRUPTIONS TO THE MAXIMUM EXTENT PRACTICAL.
- ANY EXISTING UTILITIES NOT EXPRESSLY LABELED FOR DEMOLITION/REMOVAL ON THIS DOCUMENT SHALL BE LEFT IN PLACE AND IN THEIR CURRENT STATE OF OPERATION. CONTACT ENGINEER WHEREVER CLARIFICATION IS NEEDED.
- STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
- IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT FENCE SHALL BE INSTALLED AROUND THE BASE OF THE STOCKPILE TO PREVENT SEDIMENT TRANSPORT.
- PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT OF WAYS, NOTIFY AND COORDINATE WORK WITH THE LOCAL MUNICIPALITY.
- MAINTAIN TRAFFIC CIRCULATION TO ALL NEIGHBORING PROPERTIES SHOWN ON THIS DOCUMENT. COORDINATE ALL WORK WITH NEIGHBORING PROPERTY OWNERS.
- MAINTAIN TEMPORARY ACCESS TO ONE OR MORE OF THE EAST SIDE BUILDING ENTRANCES DURING CONSTRUCTION.

KEYNOTES:

- SAWCUT EXISTING CONCRETE CURBING
- REMOVE EXISTING CONCRETE CURBING
- SAWCUT EXISTING BITUMINOUS PAVEMENT
- SAWCUT EXISTING CONCRETE WALK
- MAINTAIN EXISTING CONCRETE WALK
- MAINTAIN EXISTING CONCRETE CURBING
- MAINTAIN EXISTING TREE/VEGETATION
- CLEAR & GRUB EXISTING TREE
- MAINTAIN EXISTING STORM SEWER STRUCTURE
- MAINTAIN EXISTING STORM SEWER PIPE
- REMOVE EXISTING HANDRAIL
- REMOVE EXISTING RETAINING WALL
- MAINTAIN EXISTING LANDSCAPE AREA: TREES, SHRUBS, MULCH AND FILTER FABRIC - VERIFY WITH LANDSCAPE PLAN
- REMOVE EXISTING LANDSCAPE AREA: SHRUBS, MULCH AND FILTER FABRIC
- REMOVE EXISTING POWER/LIGHT POLE
- MAINTAIN EXISTING TRANSFORMER BOX
- REMOVE/ABANDON EXISTING ELECTRICAL LINE AS REQUIRED
- REMOVE EXISTING ELECTRICAL LINE
- MAINTAIN EXISTING TELEPHONE LINE
- MAINTAIN EXISTING GAS LINE
- REMOVE EXPOSED ROCK
- SALVAGE AND REINSTALL SIGN

DEMOLITION HATCH PATTERNS:



CIVIL SHEET INDEX:

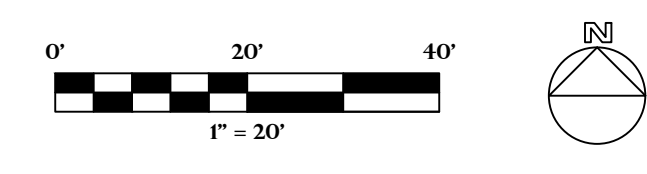
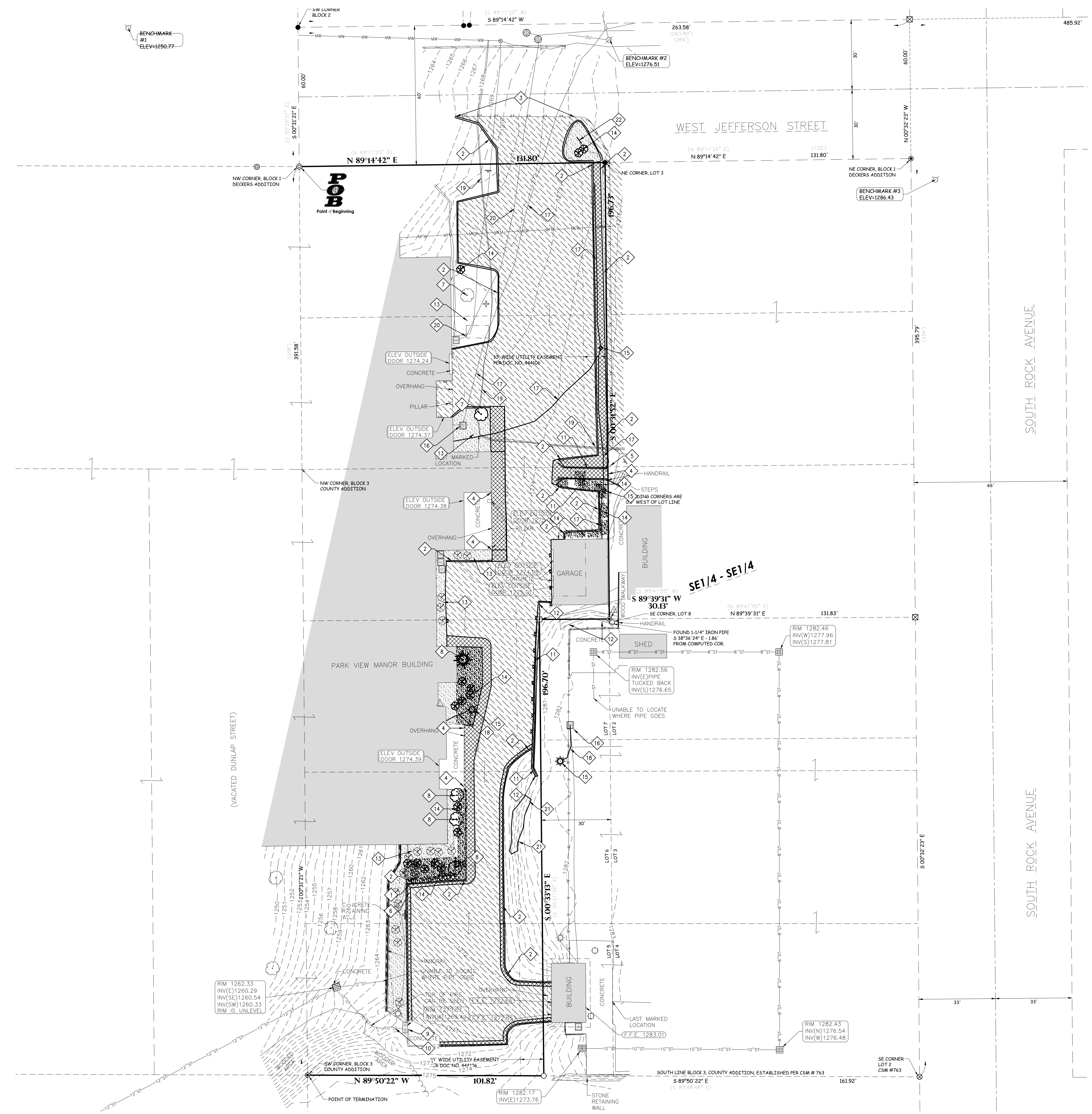
- C100 DEMOLITION PLAN (ALTERNATE BID)
- C200 LAYOUT PLAN (ALTERNATE BID)
- C300 GRADING PLAN (ALTERNATE BID)
- C400 EROSION CONTROL PLAN (ALTERNATE BID)
- C500 UTILITY PLAN (ALTERNATE BID)
- C600 DETAILS (ALTERNATE BID)
- L100 LANDSCAPE PLAN (ALTERNATE BID)

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
BURY BOLT ON HYDRANT, LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET. ELEVATION = 1250.77
BENCHMARK #2
POB SPIKE ON SOUTH SIDE OF POWER POLE, LOCATED ON THE NORTH SIDE OF WEST JEFFERSON STREET, APPROXIMATELY 165 FEET WEST OF THE INTERSECTION OF WEST JEFFERSON STREET AND SOUTH ROCK AVENUE. ELEVATION = 1276.51
BENCHMARK #3
BURY BOLT ON HYDRANT, LOCATED AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF WEST JEFFERSON STREET AND SOUTH ROCK AVENUE. ELEVATION = 1286.43

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.



C100

No.	Description	Date
1	ACCENDUM #01	8/18/24

Graphic Scale:
SEE DRAWING
Last Update:
08/22/2024



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VIROQUA HOUSING AUTHORITY
PARK VIEW MANOR
200 PARK VIEW COURT, STE 100
VIROQUA, WI 54665
LAYOUT PLAN (ALTERNATE BID)

Project Title:
HSR Project Number:
24012
Project Date:
08/22/2024
Drawn By:
MAJ

Key Plan:

Revisions:

No.	Description	Date
1	ADDENDUM #01	8/18/24

Graphic Scale:
SEE DRAWING
Last Update:
08/22/2024

C200

GENERAL NOTES:

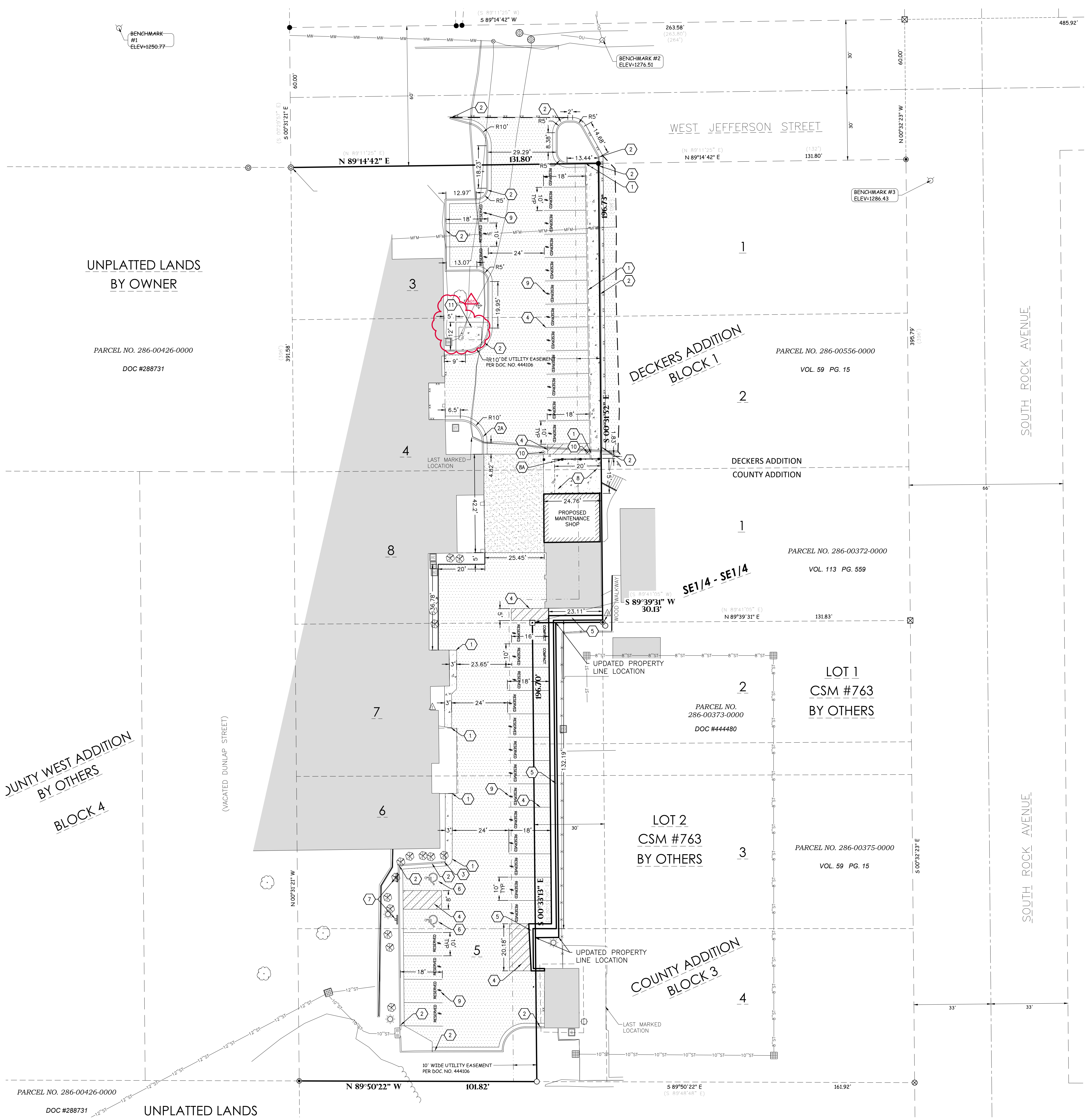
- CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- SEE SHEET C400 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED OR AS APPROVED BY THE CONSTRUCTION MANAGER.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED, FERTILIZED, AND CRIMP HAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- MAINTAIN TEMPORARY ACCESS TO ONE OR MORE OF THE EAST SIDE BUILDING ENTRANCES DURING CONSTRUCTION.

KEYNOTES:

- THICKENED EDGE WALK
- STANDARD CONCRETE CURB & GUTTER
2A. REVERSE CONCRETE CURB & GUTTER
- 6" CURB TAPER SECTION
- PARKING LOT STRIPING
4A. BID ALTERNATIVE
- CMU GRAVITY RETAINING WALL
BID ALTERNATIVE
- ADA PARKING STALL
- ADA PARKING SIGN
- PEDESTRIAN RAMP W/ HANDRAIL
8A. COORDINATE WITH ARCHITECTURE RAMP HANDRAIL INSTALLATION W/ ARCHITECTURAL POSTS
- PAINT "RESERVED #" ON EACH PARKING STALL. COORDINATE NUMBERING & LOCATION WITH OWNER PRIOR TO WORK BEGINNING. STAFF VS. VISITOR PARKING TO ALSO BE COORDINATED WITH OWNER PRIOR TO WORK BEGINNING.
- CONCRETE BOLLARD
- MOBILE BIKE RACK BY OWNER

PAVEMENT HATCH PATTERNS:

- PROPOSED STANDARD ASPHALT PAVEMENT
- PROPOSED STANDARD CONCRETE PAVEMENT
- PROPOSED REINFORCED CONCRETE PAVEMENT

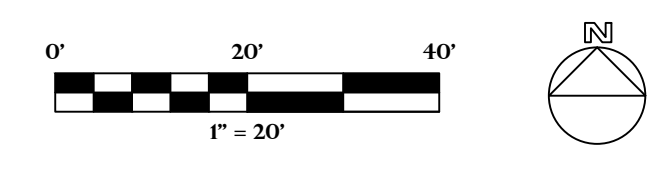


BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
BURY BOLT ON HYDRANT, LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET. ELEVATION = 1250.77
BENCHMARK #2
60# SPIKE ON SOUTH SIDE OF POWER POLE, LOCATED ON THE NORTH SIDE OF WEST JEFFERSON STREET, APPROXIMATELY 165 FEET WEST OF THE INTERSECTION OF WEST JEFFERSON STREET AND SOUTH ROCK AVENUE. ELEVATION = 1276.51
BENCHMARK #3
BURY BOLT ON HYDRANT, LOCATED AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF WEST JEFFERSON STREET AND SOUTH ROCK AVENUE. ELEVATION = 1286.43

UTILITY DISCLAIMER:

THE LOCATIONS, SIZES, AND TYPES OF UNDERGROUND PUBLIC AND PRIVATE UTILITIES OR SUBSTRUCTURES SHOWN HEREON WERE OBTAINED FROM VISUAL INSPECTION, FIELD MEASUREMENTS, AND/OR AS-BUILT PLANS. SANITARY SEWER AND STORM SEWER PIPE SIZES, INVERTS, DIRECTION, AND LOCATIONS BETWEEN MANHOLES ARE SUPPLEMENTED BY AS-BUILT PLANS AND/OR ESTIMATED BASED ON FIELD OBSERVATIONS. PRIOR TO CONSTRUCTION IN THE VICINITY OF ANY UTILITIES SHOWN HEREON, IT IS RECOMMENDED THAT THE LOCATIONS, DEPTHS, AND SIZES BE FIELD VERIFIED. THE LOCATIONS SHOWN HEREON ARE ONLY APPROXIMATE, WITH POSSIBILITY THAT ADDITIONAL UTILITY LINES NOT DISCOVERED, OR MARKED, DURING THE SEARCH OF RECORDS AND THE FIELD SURVEY MAY EXIST. ANY CONTRACTOR USING THE INFORMATION SHOWN HEREON IS HEREBY FOREWARNED THAT ANY EXCAVATION UPON THIS SITE MAY RESULT IN THE DISCOVERY OF ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN HEREON. IN GENERAL, UNDERGROUND UTILITY LOCATIONS ARE SHOWN FROM UTILITY MARKINGS, BY OTHERS, AND/OR AS-BUILT PLANS, PROVIDED BY OTHERS. POINT OF BEGINNING MAKES NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, WITH RESPECT TO THE EXISTING UTILITIES SHOWN HEREON, AND BELIEVES THAT THE INFORMATION CONTAINED HEREIN IS RELIABLE AND GENERALLY ACCURATE FOR THE PURPOSE INTENDED.





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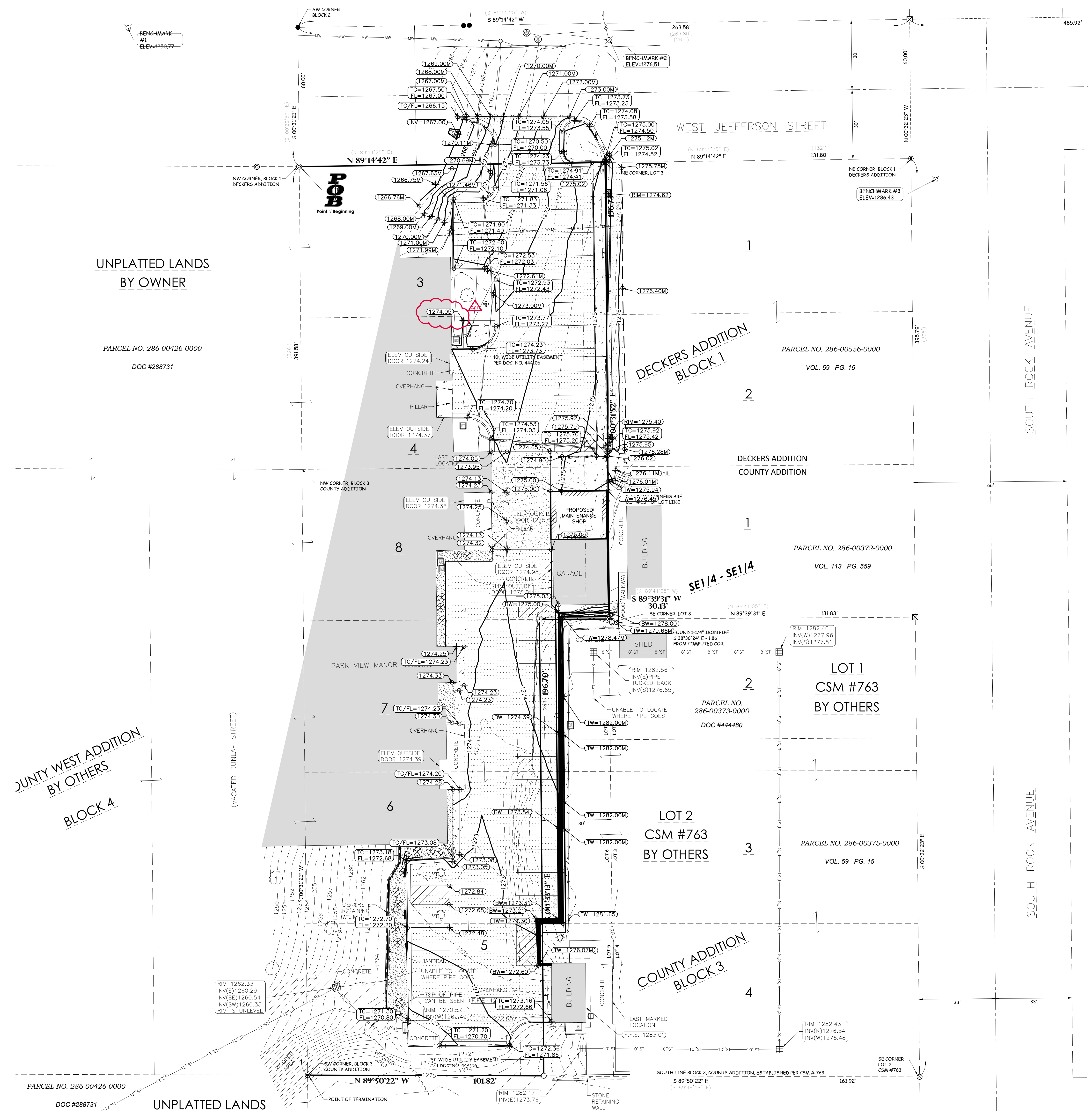
Consultant:
POB
Point of Beginning
Civil Engineering
Land Surveying
Landscape Architecture
4941 Kisching Court
Stevens Point, WI 54481
715.344.9999 (Ph) 715.344.9922 (F)

GENERAL NOTES:

1. CONTRACTOR SHALL LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO COMMENCEMENT OF WORK.
2. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1275.00 EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
3. GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
4. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
5. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
6. SEE SHEET C400 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
7. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED, AND/OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
8. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE TRADES RESPONSIBLE FOR THE INSTALLATION OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE).
9. PROVIDE RIP RAP AT ALL CULVERT OUTFLOW ENDWALL STRUCTURES TO PREVENT WASHOUT AND EROSION.
10. INSTALL WASHOUT TYPE HR FILTER FABRIC BENEATH ALL RIP RAP.
11. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER. COORDINATE WITH OWNER FOR LOCATION OF STOCKPILE IF THE OWNER CHOOSES TO SALVAGE EXCESS TOPSOIL FOR FUTURE USE. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
12. THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY.
13. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING.
14. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
15. GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
16. MAINTAIN TEMPORARY ACCESS TO ONE OR MORE OF THE EAST SIDE BUILDING ENTRANCES DURING CONSTRUCTION.

GRADING LEGEND:

EXISTING CONTOUR	---	712
PROPOSED CONTOUR	---	712
PROPOSED SPOT ELEVATION	⊕	892.70
PROPOSED ENDWALL INVERT ELEVATION	⊕	INV=892.00
PROPOSED RIM ELEVATION	⊕	RIM=893.50
PROPOSED TOP OF CURB ELEVATION	⊕	TC=893.50
PROPOSED FLOW LINE ELEVATION	⊕	FL=893.50
PROPOSED TOP OF WALL ELEVATION	⊕	TW=893.50
PROPOSED BOTTOM OF WALL ELEVATION	⊕	BW=893.50
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	⊕	892.00(M)
PROPOSED ENDWALL STRUCTURE WITH RIP RAP	⊕	9
PROPOSED STORM SEWER CURB INLET	⊕	10



BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
BENCHMARK #1
BURY BOLT ON HYDRANT, LOCATED APPROXIMATELY 75 FEET WEST OF THE WEST RIGHT-OF-WAY LINE OF WEST JEFFERSON STREET. ELEVATION = 1250.77
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VIROQUA HOUSING AUTHORITY
PARK VIEW MANOR
200 PARK VIEW COURT, STE 100
VIROQUA, WI 54665

Project Title: VIROQUA HOUSING AUTHORITY
PARK VIEW MANOR
Project Location: 200 PARK VIEW COURT, STE 100
VIROQUA, WI 54665
Sheet Title: GRADING PLAN (ALTERNATE BID)

HSR Project Number: 24012
Project Date: 08/22/2024
Drawn By: MAJ

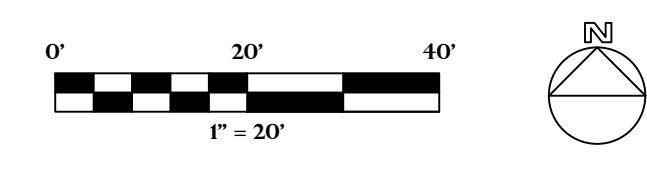
Key Plan:

Revisions:

No.	Description	Date
1	ADDENDUM #01	8/18/24

Graphic Scale:
SEE DRAWING
Last Update: 08/22/2024

C300





Consultant:

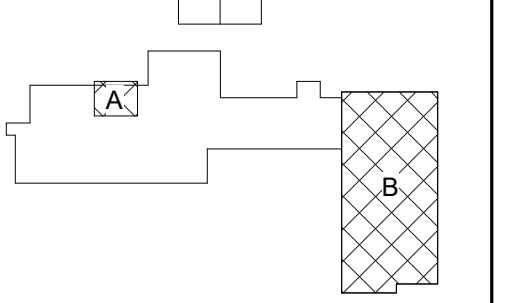
Project Title: **VIROQUA HOUSING AUTHORITY
PUBLIC HOUSING PROJECT WI 118**
Project Location: **200 PARK VIEW CT
VIROQUA, WI 54665**
Sheet Title: **THIRD FLOOR**

HSR Project Number: **24012**

Project Date: **AUGUST 22, 2024**

Drawn By: **MPL**

Key Plan: MAINT



KEY PLAN

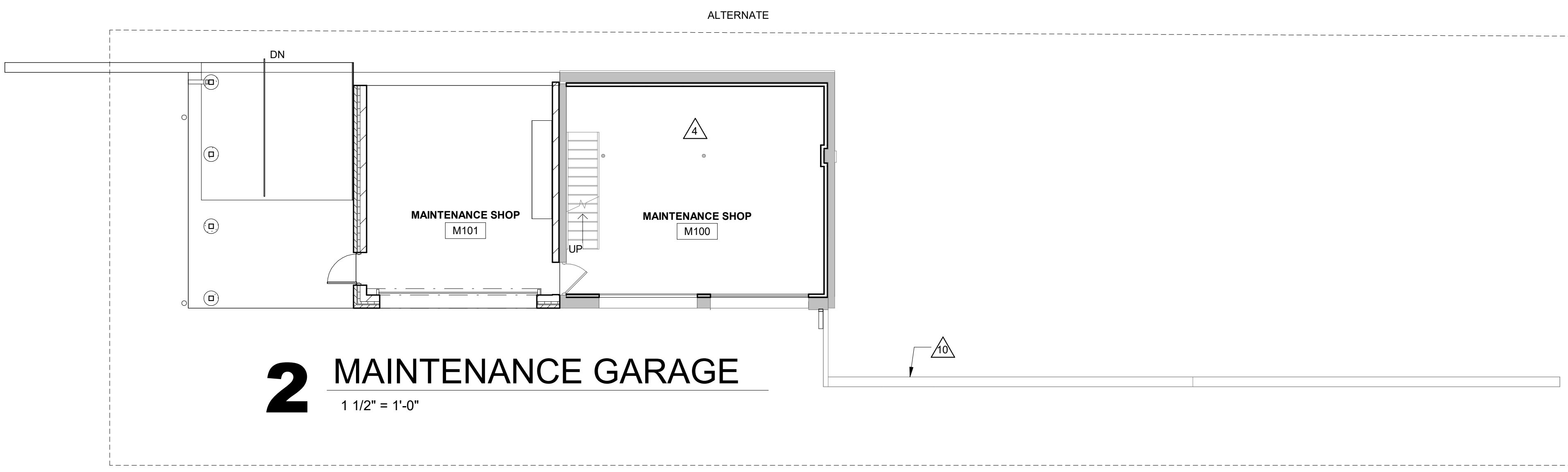
No.	Description	Date
A01	Addendum 1	09-18-2024

Graphic Scale: **VARIES**

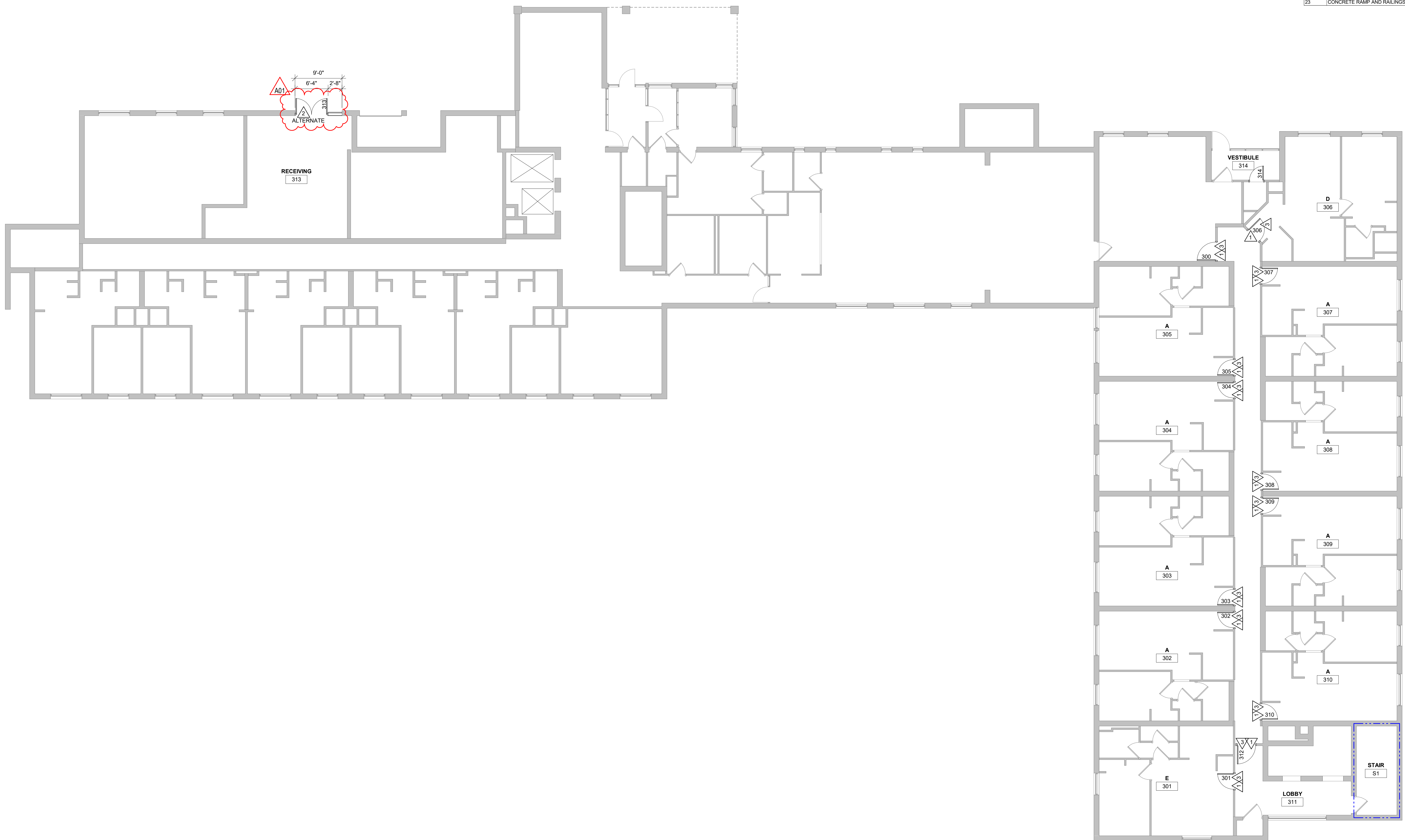
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A101

- PLAN GENERAL NOTES:**
A SEE FLOOR PLANS FOR APARTMENT AND DOOR NUMBERS.
- PLAN LEGEND:**
△ SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- - - 1 HOUR WALL
- KEY NOTES PLAN**
- INSTALL NEW DOOR SLAB - CONTRACTOR TO VERIFY MEASUREMENTS IN FIELD.
 - REMOVE EXISTING GARAGE DOOR, TRACKS, AND TRIM AND REPLACE WITH DOUBLE EXTERIOR DOORS. SEE DETAILS A600.
 - REMOVE EXISTING DOOR ONLY. IIR FRAME TO REMAIN - SEE DOOR SCHEDULE.
 - EXISTING MAINTENANCE SHOP - SEE A110.
 - LINE OF LOFT ABOVE.
 - RELOCATED WINDOW.
 - INSTALL R-19 KRAFT FACED BATT INSULATION AT EXISTING JOISTS.
 - EXISTING OVERHEAD DOOR TO REMAIN.
 - NEW RETAINING WALL - SEE CIVIL SHEETS.
 - NEW AWNING WINDOW TO MATCH EXISTING (3'-4" W x 2'-0" H).
 - 2x4 STUDS 16" O.C. W/ R-13 BATT INSULATION AND 5/8" GYP BD.
 - INFILL OPENING WITH 2x4 STUDS AND 5/8" GYP BD.
 - PREFINISHED SHEET METAL OPEN-FACE DOWNSPOUT.
 - NEW STEEL 2" PIPE GUARD RAIL SYSTEM. POSTS EVENLY SPACED, 42" O.C. MAX.
 - 8" CMU WALL WITH CORE-FILL INSULATION ABOVE EXISTING ROOF LINE.
 - COUNTERTOP WITH WALL BRACKETS- BY OWNER.
 - 6x6 TREATED WOOD POST.
 - NEW FIXED WINDOW TO MATCH EXISTING SIZE (0'-4" W x 2'-0" H).
 - 6" DIA x 36" HT CONCRETE FILLED BOLLARD. COORDINATE WITH CIVIL.
 - 1" COMPRESSIBLE FILLER AT EXPANSION JOINT.
 - CONCRETE RAMP AND RAILINGS- SEE CIVIL.



2 MAINTENANCE GARAGE
1 1/2" = 1'-0"



1 THIRD FLOOR PLAN
1/8" = 1'-0"



Consultant:



EXISTING IDENTIFICATION PLATE

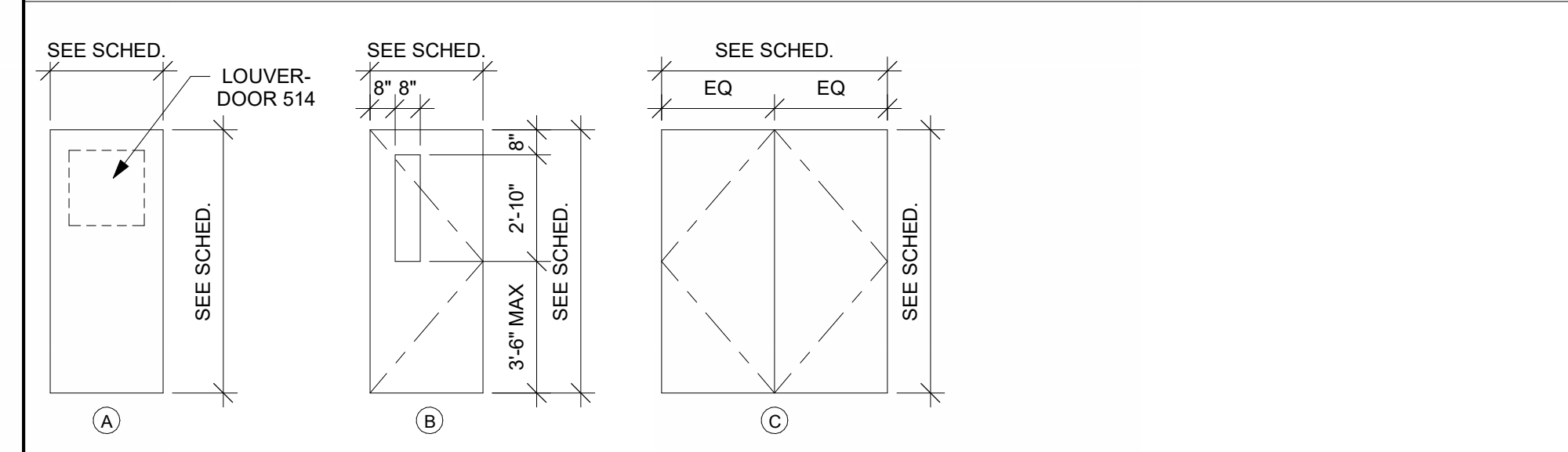
A01

DOOR NO.	SIZE			DOOR		U-CUT OR LOUVER		FRAME		HDWR GROUP	REMARKS
	W	H	T	MAT'L	DOOR TYPE			MAT'L			
101	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
102	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
103	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
104	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
105	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
106	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
201	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
202	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
203	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
204	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
205	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
206	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
207	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
208	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
209	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
211	3'-6"	6'-8"	1-3/4"	SCWD	A			EXISTG HM	3	3	
300	3'-6"	6'-8"	1-3/4"	SCWD	B			EXISTG HM	3	1,2,3	
301	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
302	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
303	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
304	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
305	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
306	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
307	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
308	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
309	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
310	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
312	3'-6"	6'-8"	1-3/4"	SCWD	A			EXISTG HM	3	3	
313	6'-0"	6'-8"	1-3/4"	FBGL	C			ALUM	5	1,2,3	A01
314	2'-8"	6'-8"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
401	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
402	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
403	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
404	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
405	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
406	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
407	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
408	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
409	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
410	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
411	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
413	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	3	3	
501	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
502	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
503	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
504	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
505	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
506	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
507	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
508	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
509	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
510	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
511	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
513	3'-6"	6'-8"	1-3/4"	SCWD	A			EXISTG HM	3	3	
514	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3,6	
G01	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
G02	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
G03	3'-0"	7'-0"	1-3/4"	SCWD	A			EXISTG HM	1	1,2,3	
M102	3'-0"	6'-8"	1-3/4"	HM	A			HM	6	7	
M202	16'-0"	8'-0"	1-1/2"	INS OHD							5,7

DOOR SCHEDULE GENERAL NOTES

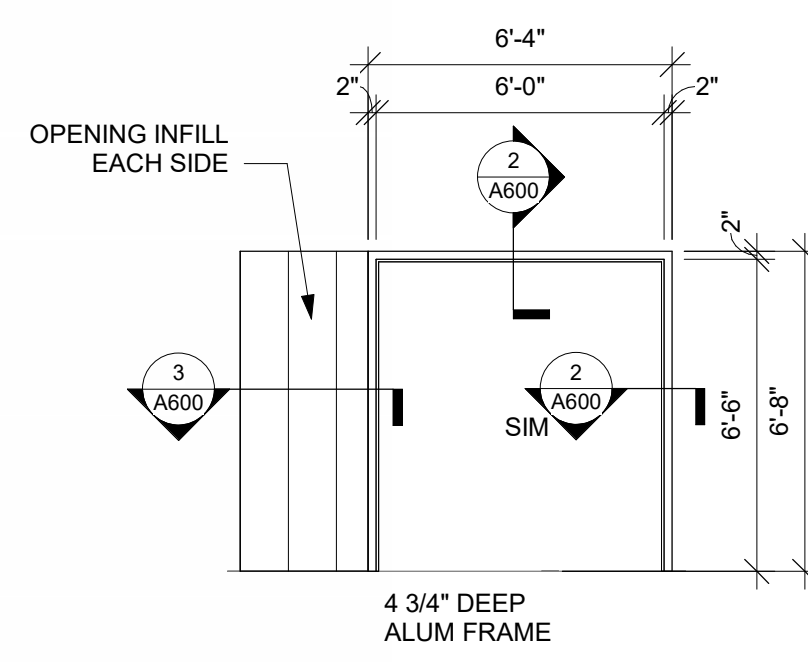
- HM = HOLLOW METAL FBGL = FIBERGLASS SCWD = SOLID CORE WOOD DOOR
- A. SEE SPECIFICATIONS FOR DOOR HARDWARE GROUPS
- B. ALL HM (HOLLOW METAL) DOORS SHALL BE PAINTED TO MATCH EXISTING FRAMES
- C. ALL DOUBLE DOORS TO HAVE TWO EQUAL LEAFS UNLESS NOTED OTHERWISE
- D. INFILL EXISTING FRAME HOLES FROM REMOVED HARDWARE.

DOOR TYPES

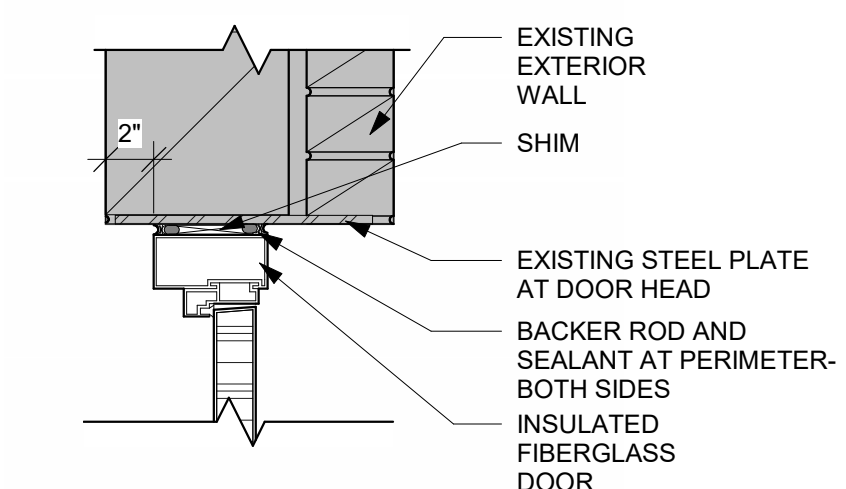


DOOR SCHEDULE REMARKS

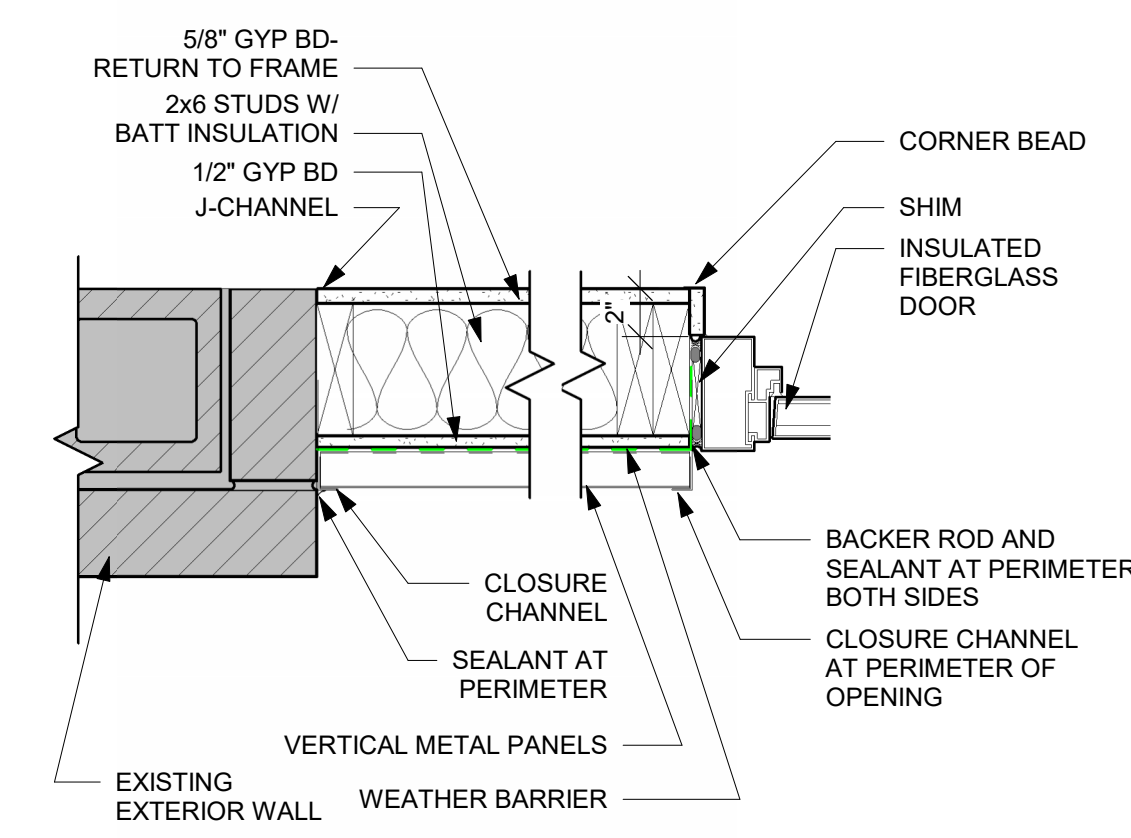
- NEW APARTMENT IDENTIFICATION PLATE TO MATCH EXISTING
- 1 DOOR EACH AT GROUND, 1st, 2nd, 3rd, 4th AND 5th FLOORS.
- MODIFY FRAME FOR NEW HARDWARE.
- NEW FIBERGLASS DOORS AND ALUMINUM FRAME IN EXISTING OPENING. SEE DETAILS BELOW.
- NEW INSULATED OVERHEAD DOOR WITH VERTICAL LIFT TRACK. SEE SHEET A200 FOR HEAD AND JAMB DETAILS.
- LOUVER AT TOP HALF OF DOOR. ALTERNATE



1 ALUM FRAME
1/4" = 1'-0"



2 DOOR HEAD/ JM DTL
1 1/2" = 1'-0"



3 DOOR JAMB DETAIL
1 1/2" = 1'-0"

VIROQUA HOUSING AUTHORITY
PUBLIC HOUSING PROJECT WI 118

Project Title:

HSR Project Number:

24012

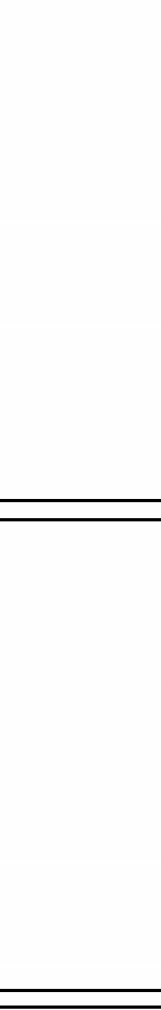
Project Date:

AUGUST 22, 2024

Drawn By:

MPL

Key Plan:



Revisions:

No.	Description	Date
A01	Addendum 1	09-18-2024

Graphic Scale:

VARIES

Last Update:

9/17/2024 8:18:20 AM

A600

DOOR SCHEDULE / DETAILS

Project Location: 200 PARK VIEW CT VIROQUA, WI 54665

Sheet Title:



Consultant:

Project Title: **VIROQUA HOUSING AUTHORITY
PUBLIC HOUSING PROJECT WI 118**
Project Location: 200 PARK VIEW CT
VIROQUA, WI 54665
Sheet Title: **ELECTRICAL PLAN**

HSR Project Number: **24012**

Project Date: **JUNE 2024**

Drawn By: **JMH**

Key Plan:

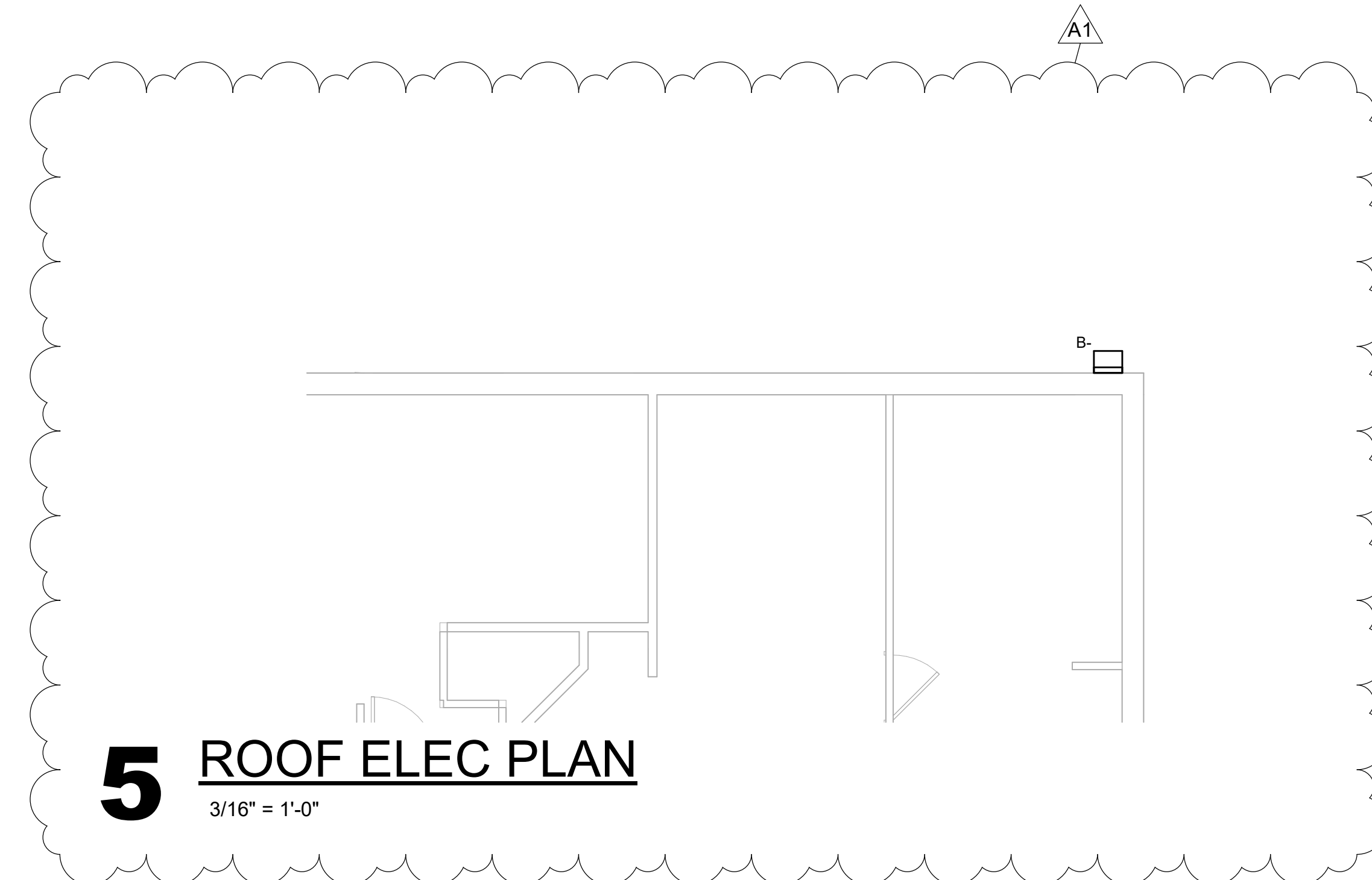
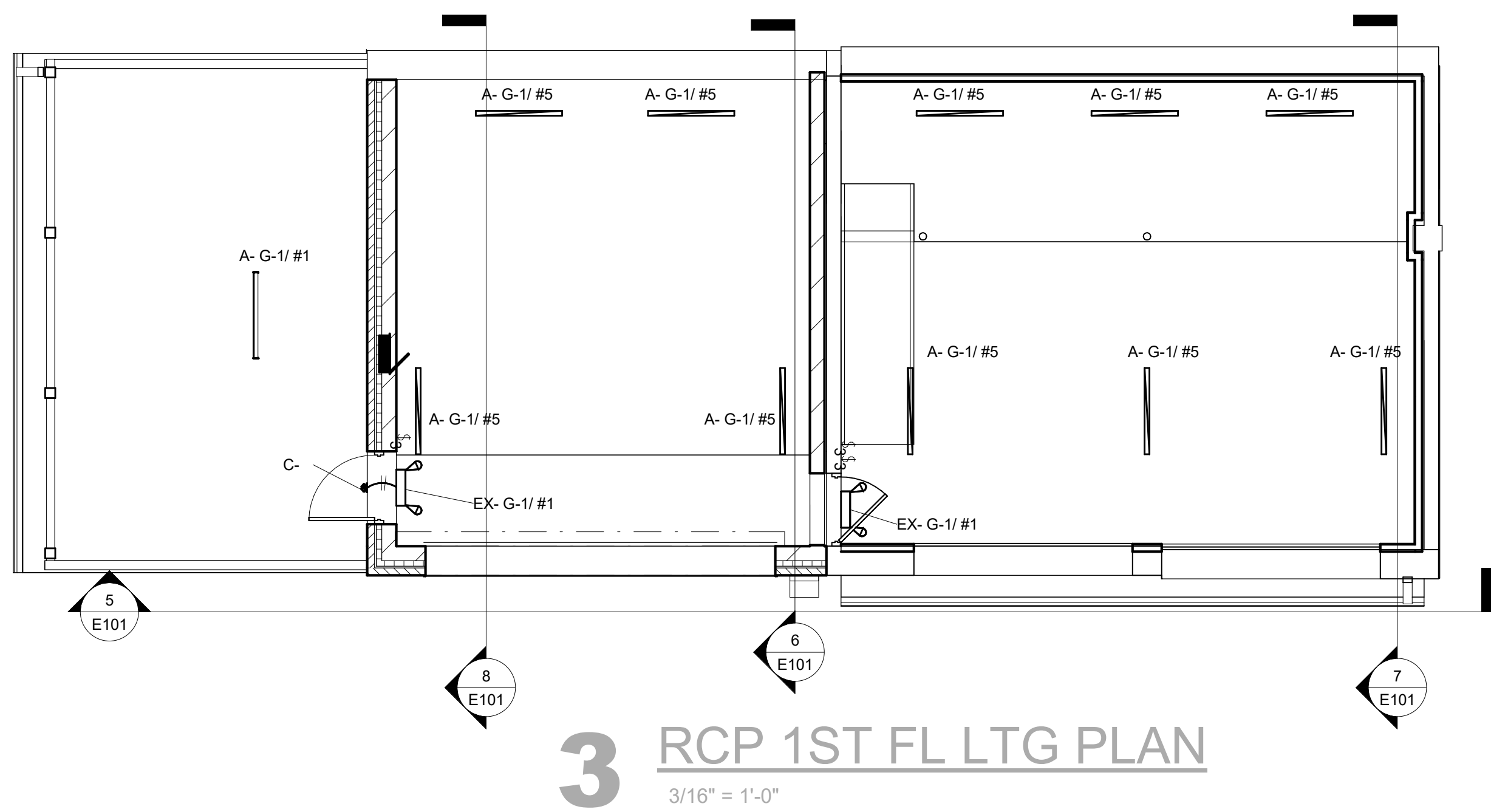
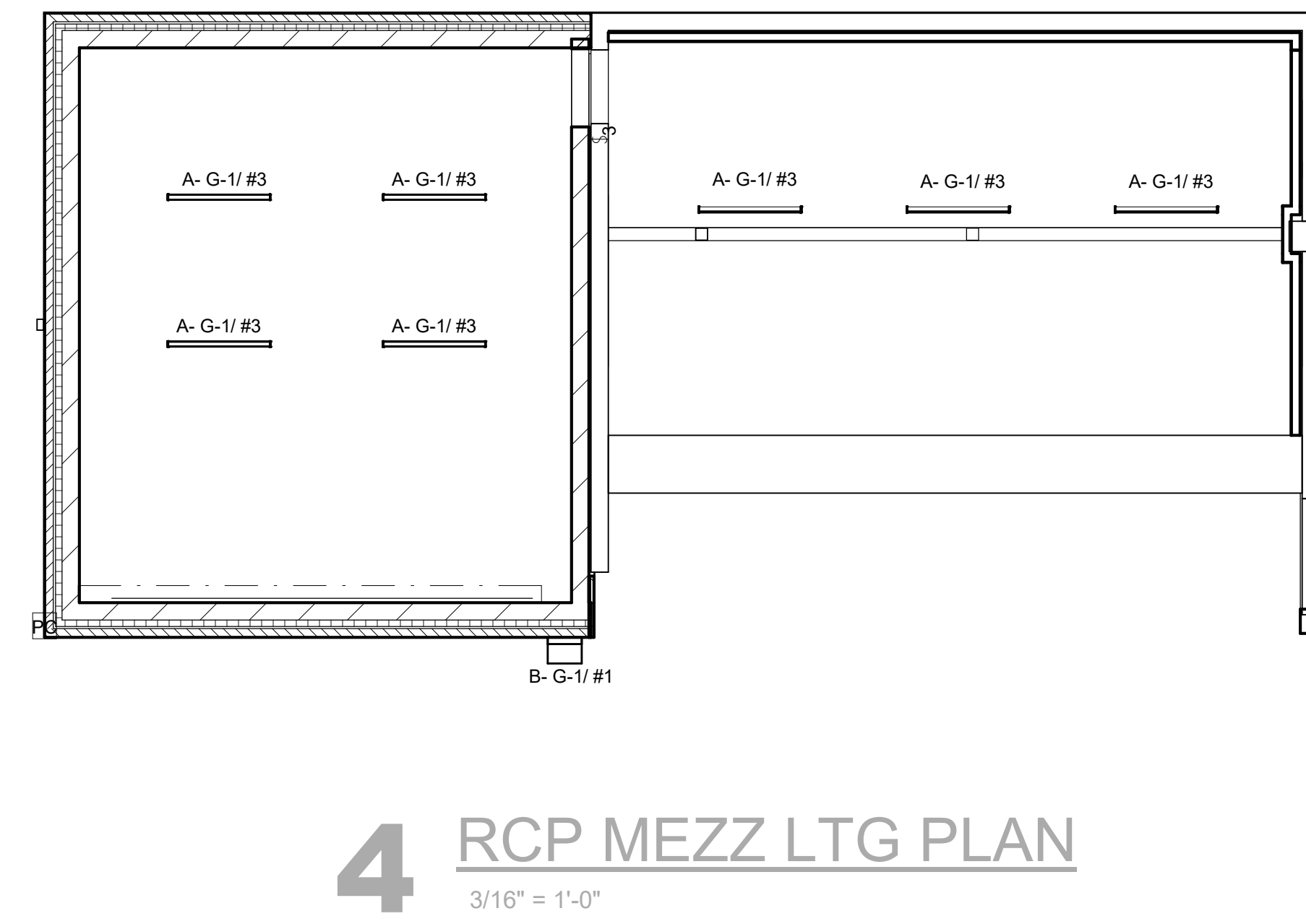
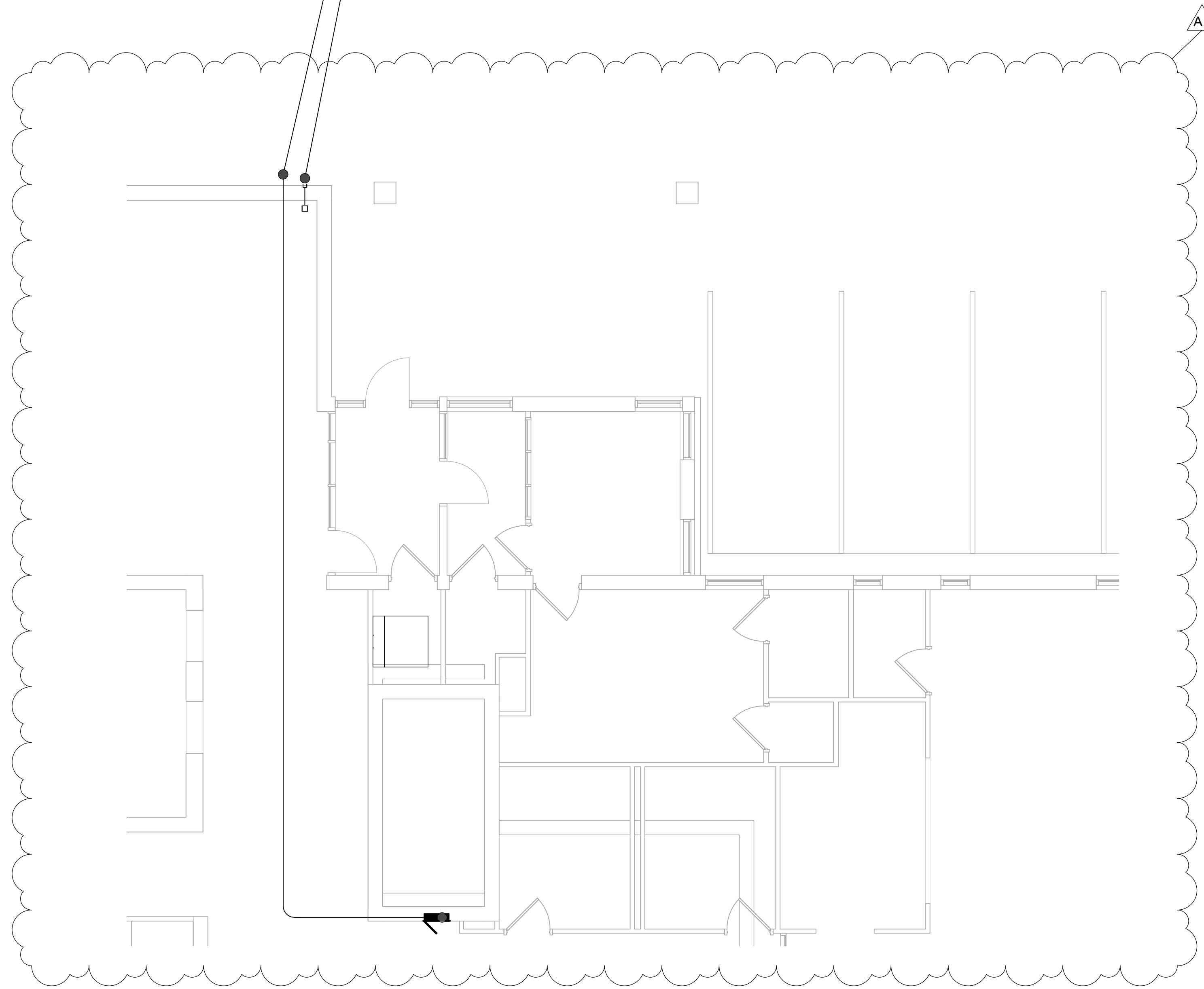
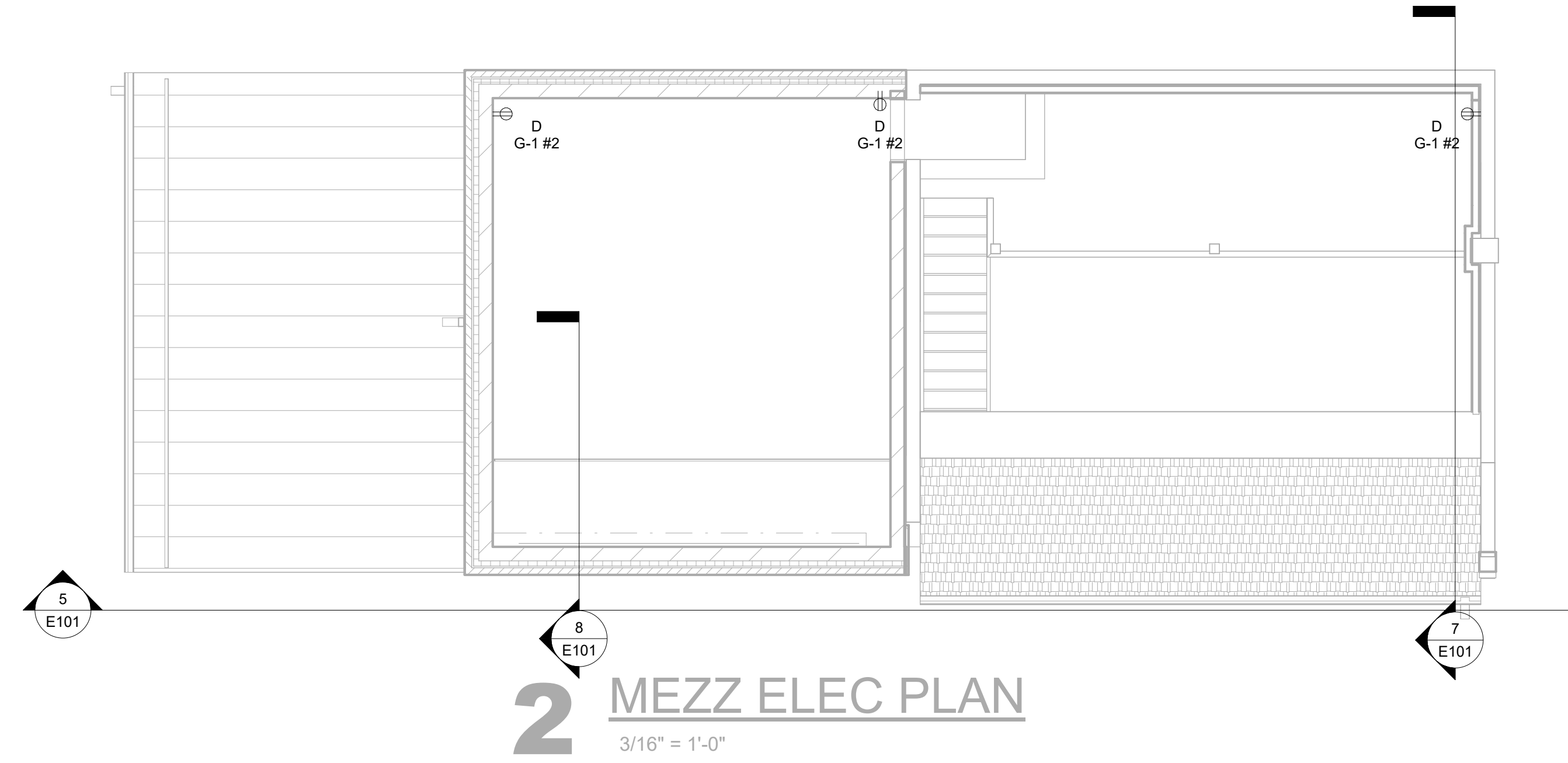
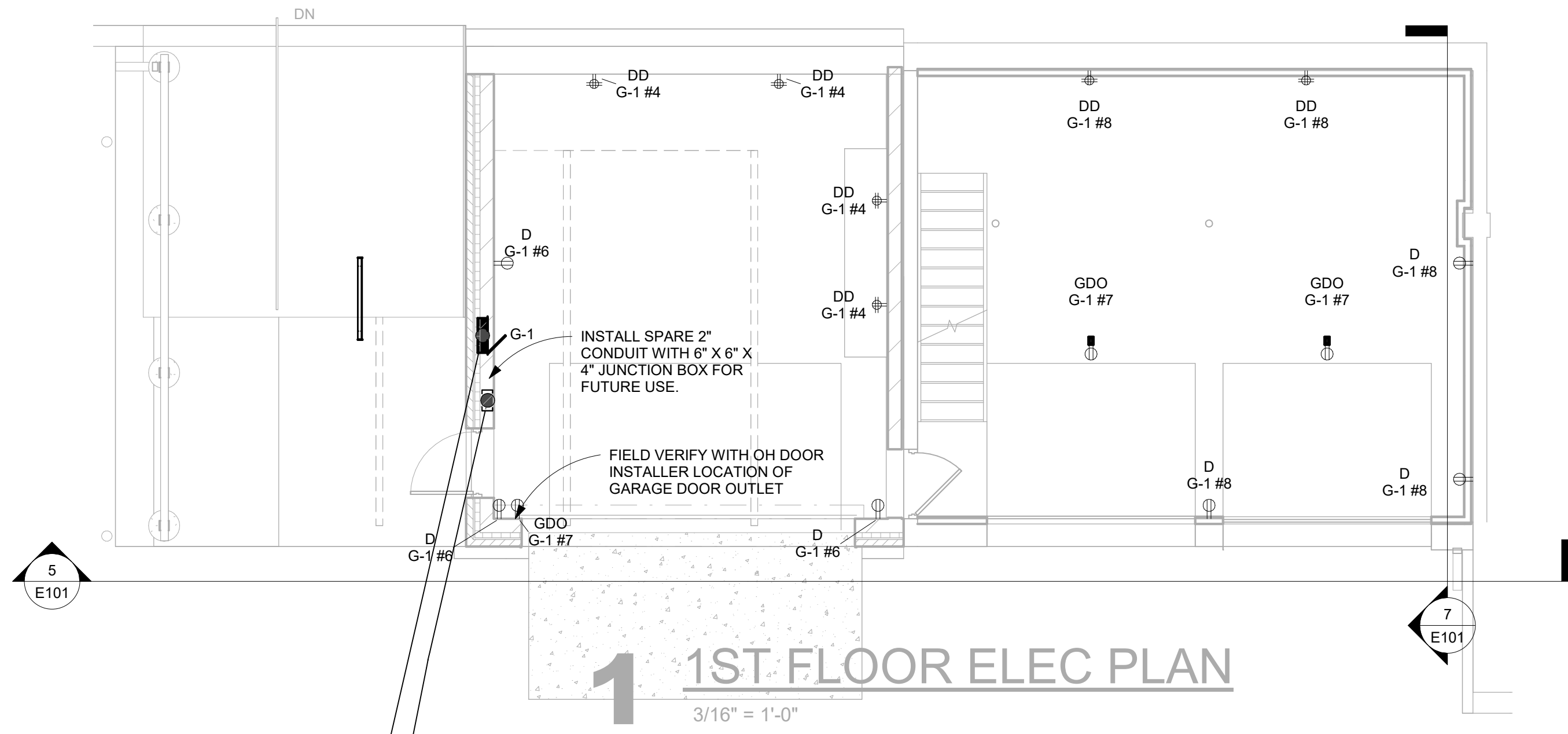
**REVIEW
NOT FOR
CONSTRUCTION**

No.	Description	Date
1	ADDENDUM #1	01/25/2022

Graphic Scale: **VARIES**

Last Update: **9/19/2024 2:45:16 PM**

E100





Consultant:

Project Title: VIROQUA HOUSING AUTHORITY
PUBLIC HOUSING PROJECT WI 118
Project Location: 200 PARK VIEW CT
VIROQUA, WI 54665
Sheet Title: ELECTRICAL PLAN

HSR Project Number: 24012

Project Date: JUNE 2024

Drawn By: JMH

Key Plan:

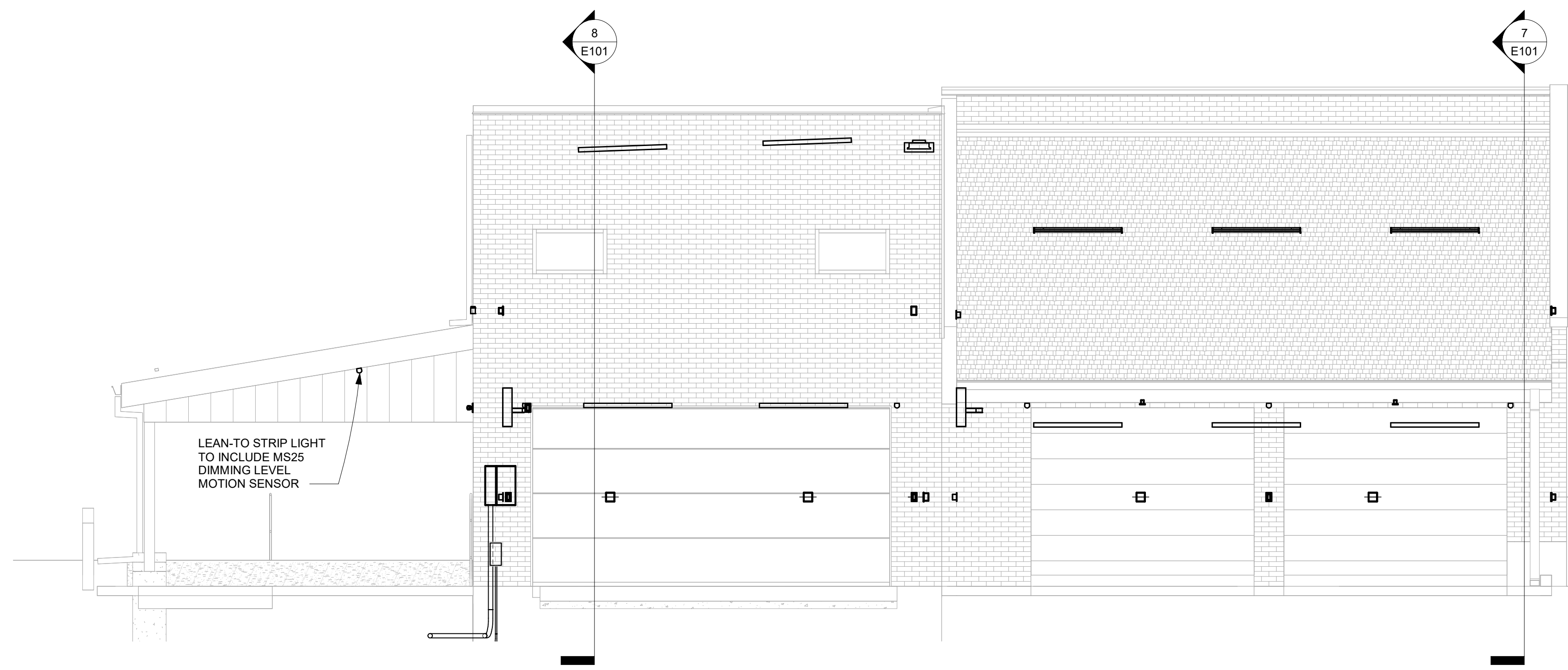
REVIEW
NOT FOR
CONSTRUCTION

No.	Description	Date
1	ADDENDUM #1	01/25/2022

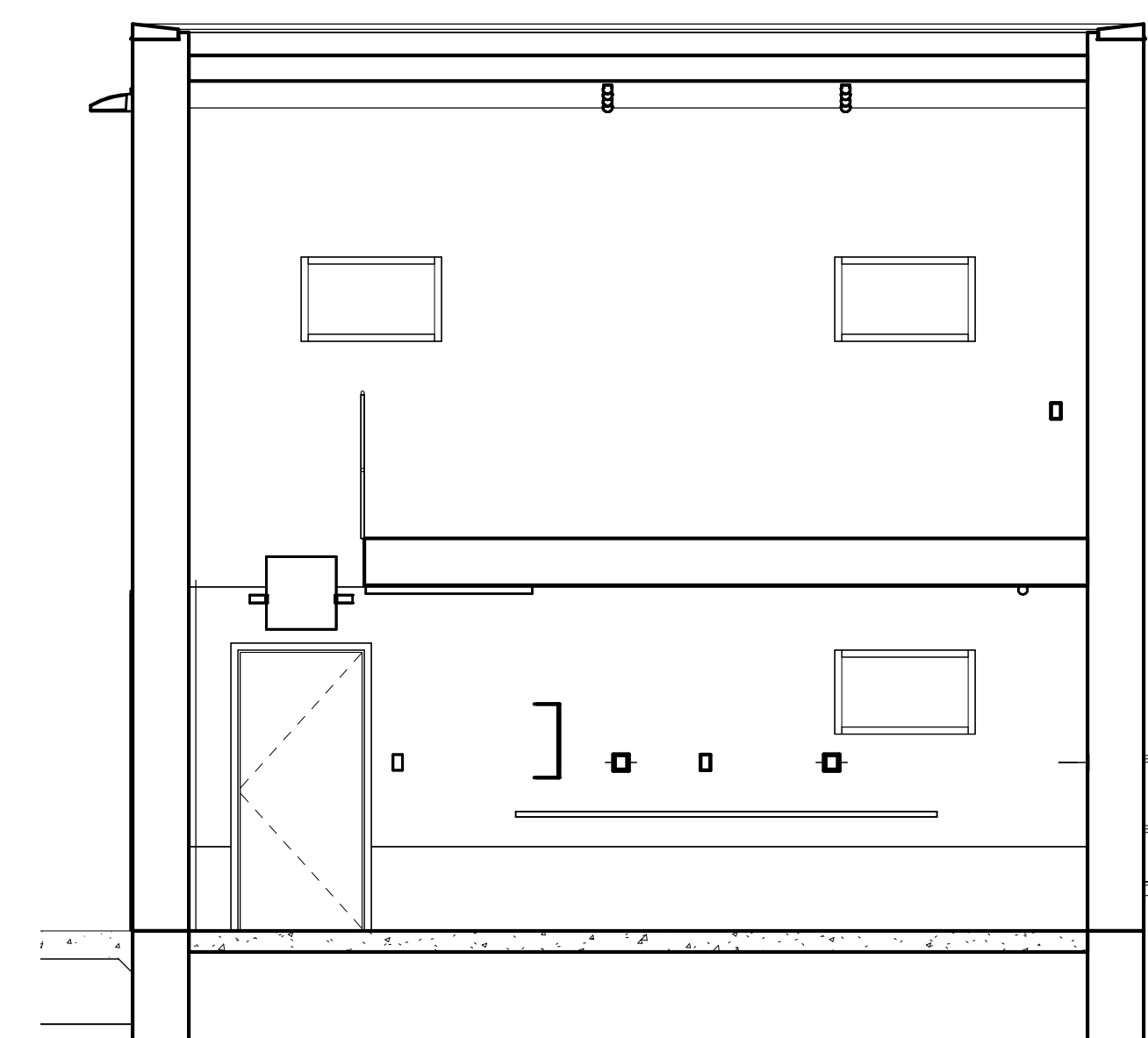
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Last Update: 9/19/2024 2:45:17 PM

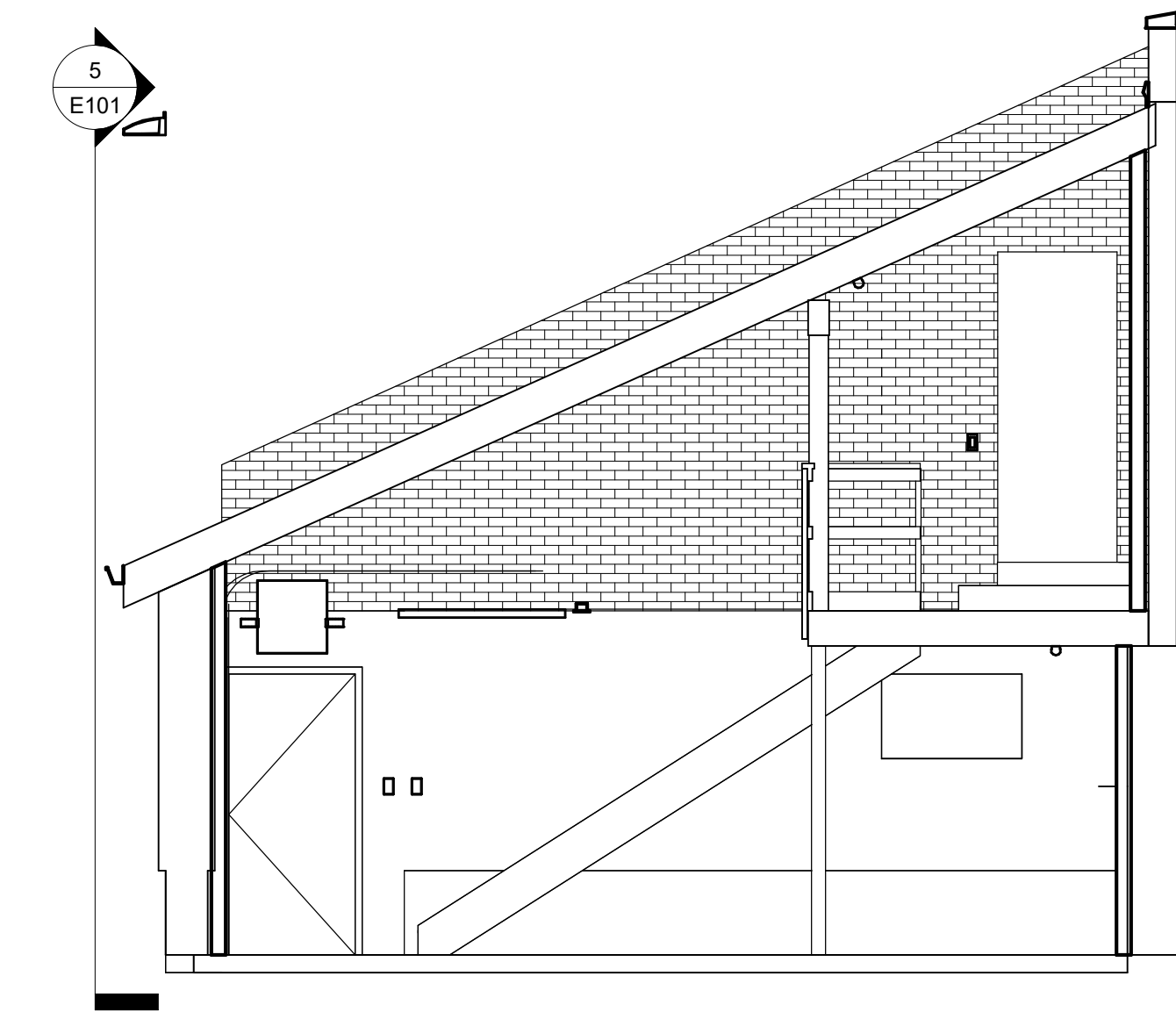
E101



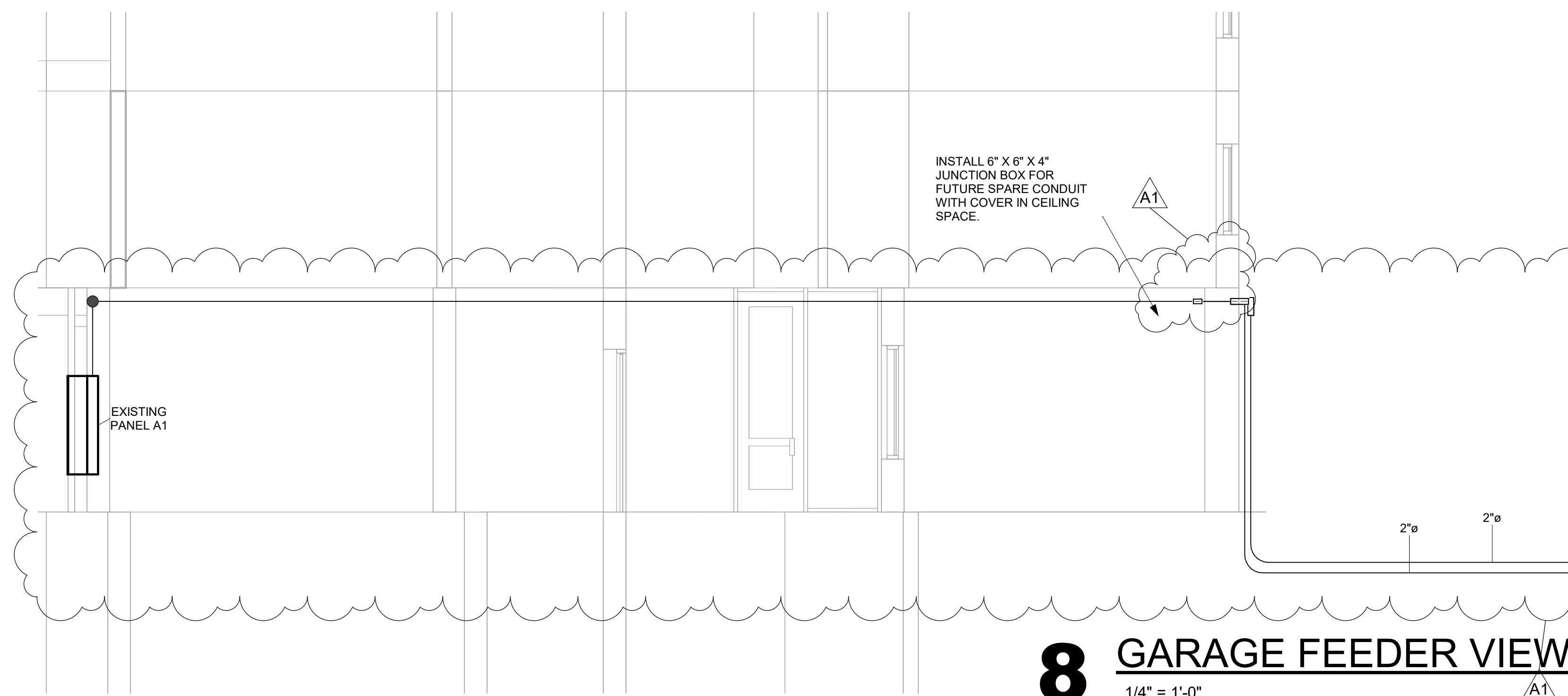
5 GARAGE FRONT VIEW
1/4" = 1'-0"



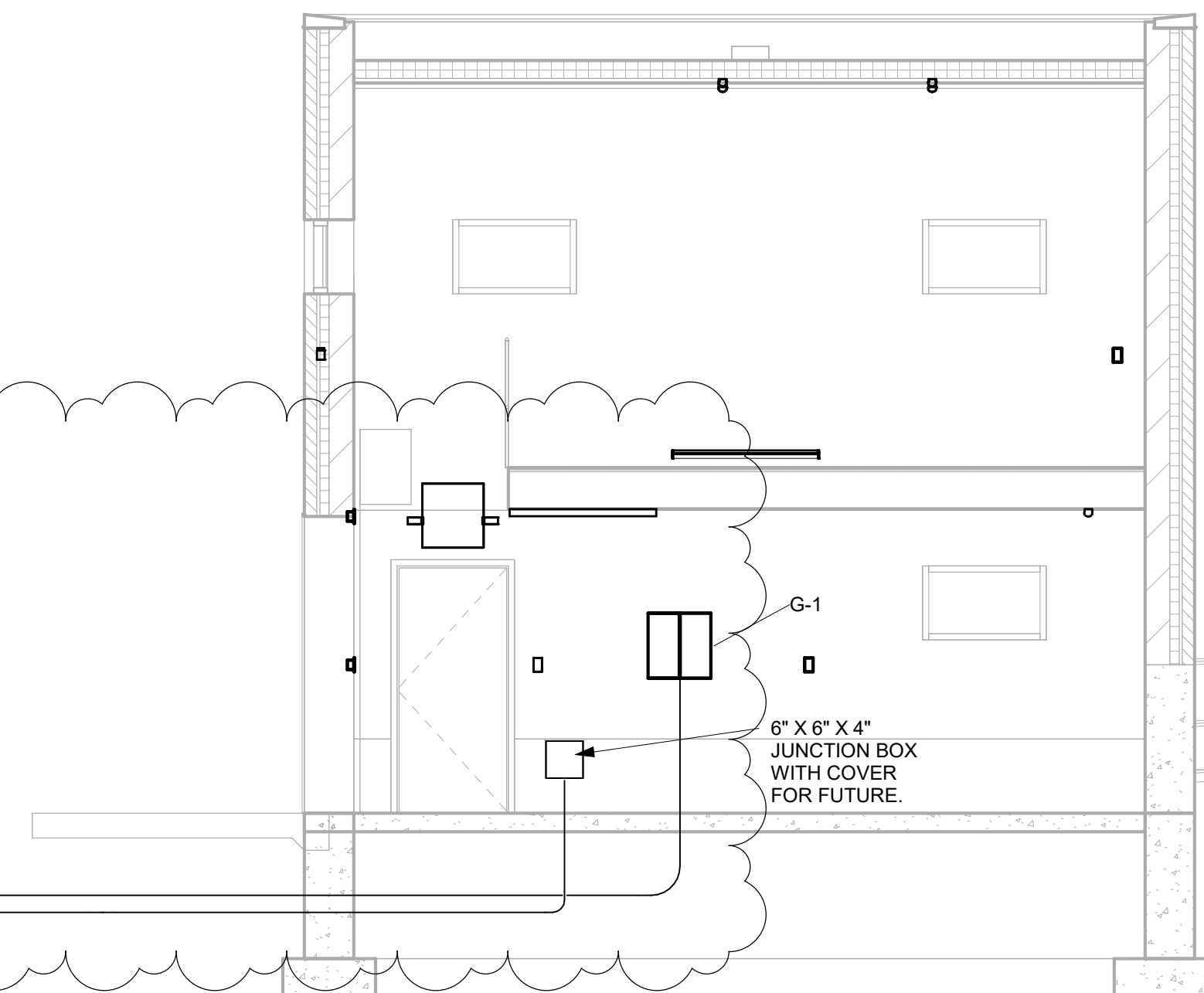
6 NEW GARAGE INT NORTH VIEW
1/4" = 1'-0"



7 EXIST GARAGE INT NORTH VIEW
1/4" = 1'-0"



8 GARAGE FEEDER VIEW
1/4" = 1'-0"



9 MAIN BUILDING WALL PACK ADDITION
3/16" = 1'-0"

Branch Panel: G-1
Location: MAINTENANCE SHOP M101
Supply From: EXISTING A1
Mounting: Recessed
Enclosure: Type 1

Volts: 120/208 Wye
Phases: 3
Wires: 4

A.I.C. Rating:
Maine Type:
Maine Rating: 125 A
MCB Rating: 125 A

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT	
1	EM-EXT-DUSK TO DAWN LIGHTING	20 A	1	160 VA	540 VA			1	20 A RECEPTACLE	2	
3	MAIN LEVEL LIGHTING	20 A	1		329 VA	1440...		1	20 A Receptacle	4	
5	MEZZ LEVEL LIGHTING	20 A	1					1	20 A RECEPTACLE	6	
7	GFCI BREAKER - GARAGE DOOR OUTLETS	20 A	1	540 VA	1260...		470 VA	540 VA	1	20 A RECEPTACLE	8
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
Total Load:				2493 VA	1769 VA	1010 VA					
Total Amps:				22 A	16 A	8 A					

Legend:

Mark	Manufacturer	Model	Length	Description	Lamp	Color Temp	Comments
A	Cooper Lighting	SLSTP	4'	Low Profile	LED	3500 K	
B	Cooper Lighting	GWC LED		1-2 Light Squares	LED	4000 K	INCLUDE DUSK-TO-DAWN PH SENSOR
C	Cooper Lighting	APWR		Remote Heads LED Emergency Heads Wet Location Listed	LED		
EX	Cooper Lighting	APCH7 R		EXIT LIGHT W/2 EGRESS HEAD, BATTERY BACKUP, & EXTERIOR EGRESS FIXTURE HEAD	LED	4230 K	

Type Mark	Model	Type Comments
D	20A TR DUPLEX	GFCI BREAKER REQUIRED
DD	20A TR GFCI/DUPLEX	GFCI BREAKER REQUIRED
GDO	20A TR DUPLEX	GFCI BREAKER REQUIRED

GENERAL NOTES LIGHTING:
A PROVIDE GROUND CONDUCTOR IN ALL CONDUITS.
B PROVIDE SEPARATE NEUTRAL FOR EACH BRANCH CIRCUIT.
C THE WORD "PROVIDE" MEANS TO FURNISH AND INSTALL.

GENERAL NOTES POWER:
A PROVIDE GROUND CONDUCTOR IN ALL CONDUITS.
B PROVIDE SEPARATE NEUTRAL CONDUCTORS FOR EACH RECEPTACLE BRANCH CIRCUIT. (NO COMMON NEUTRALS)
C THE WORD "PROVIDE" MEANS TO FURNISH AND INSTALL.